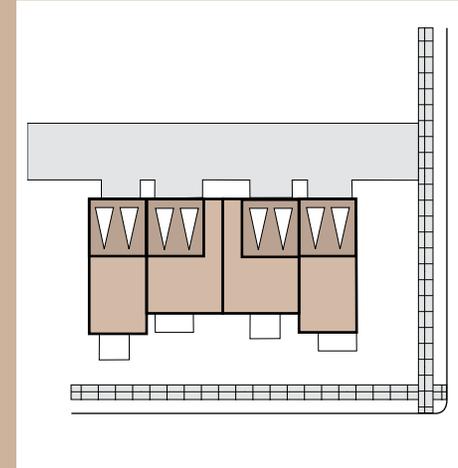
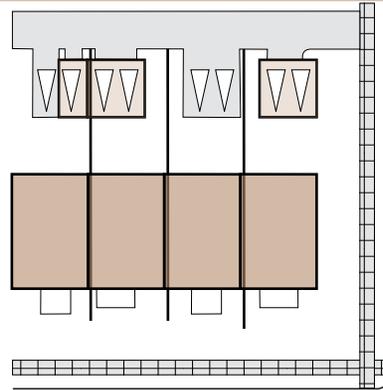


High Density Residential Lot and Building Standards (R-3)

EXAMPLES
 These sketches shows a site layouts that would follow from the standards. Not all features shown in the sketch are standards.



STANDARDS (minimums)

Lot Area	1,000 ft	N/A
Lot Width	20 ft	N/A
Lot Depth	40 ft	N/A
Front Setback	15 ft	15 ft
Dwelling	10 ft	10 ft
Front Porch		
Rear Setback	10 ft	10 ft
Dwelling	0 ft	0 ft
Parking		
Side Setback (A) (applies to any structure, including covered parking)	as provided in R-2 zone	as provided in R-2 zone
Street (corner lot)	15 ft	15 ft

Figure B-11: R-3 Residential Standards Exhibit



Figure B-12: R-4 Residential Standards Exhibit

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B.2 Pedestrian Activity Areas

Neighborhood parks, open space trails, plazas, and amenities in the Town Center comprise the primary pedestrian activity areas within Avila Ranch. These areas are envisioned to encourage healthy, active lifestyles within individual neighborhoods while also providing a medium for ongoing neighborhood social events.

Standards

- B.2.1. Goal 5.3 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Pedestrian Activity Areas section.
- B.2.2. The northwestern and southwestern corners of Jespersen Drive/Horizon Lane at the R-1 Residential Road intersection (Town Center) shall include plazas of a minimum 1,200 square feet that are oriented towards the Neighborhood Park and Town Center Plaza as illustrated on Figure B-13. Neighborhood Commercial uses should have windows and entries that open up onto these plazas to ensure that there is interaction between these public spaces, retail, and services uses. These plaza areas shall also have a transit stop integrated into the final design in conjunction with input from SLO Transit or other transit provider.
- B.2.3. Mini Parks and Pocket Parks shall be provided within or adjacent to each individual neighborhood of Avila Ranch as delineated in Figure B-14. These parks shall be provided at a rate such that the total amount of Mini-Parks and Pocket Parks shall not be less than 5 acres per thousand population. Total Park areas, e.g. including the Neighborhood park, shall not be less than 10 acres per thousand population.

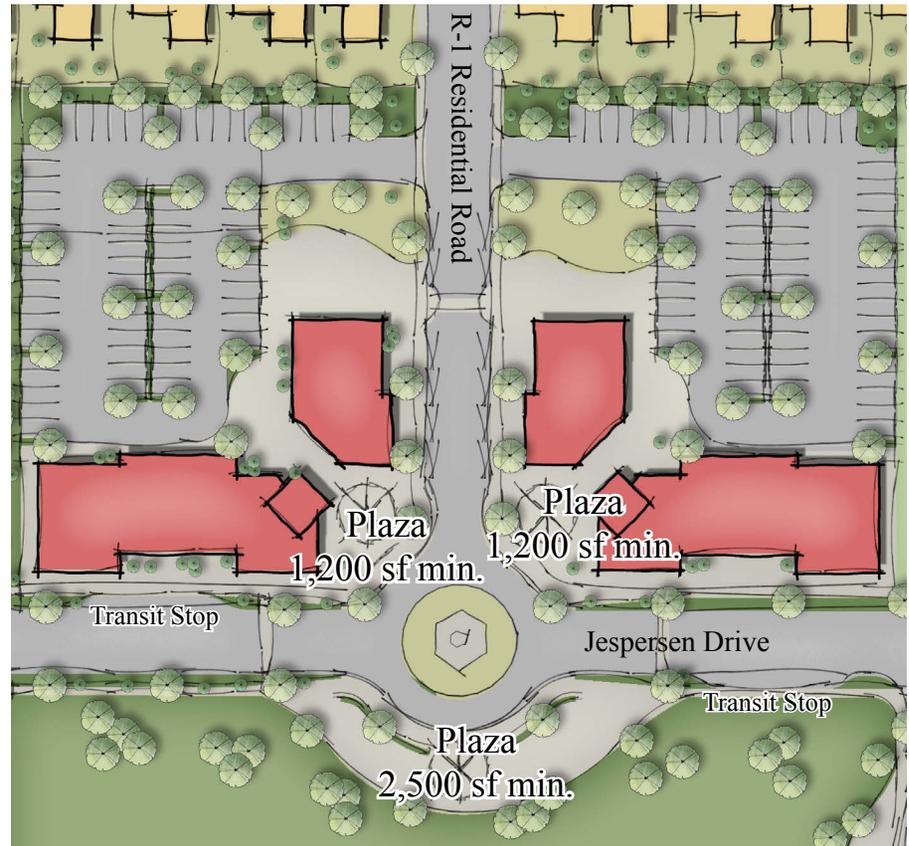


Figure B-13: Town Center Plazas

- B.2.4. A plaza shall be located within the Neighborhood Park directly across from the Town Center along Jespersen Drive/Horizon Lane of a minimum 2,500 square feet. This plaza is intended to be used for community gathering functions such as farmer's markets and shall include a transit stop.



Figure B-14: Park Locations

LEGEND

-  Neighborhood Parks: Linear, Pocket, and Open Space Oriented Parks.

Guidelines

- A. Each neighborhood area should provide convenient access to the Tank Farm Creek pedestrian trail through the incorporation of multiple pathway entry points. See Figure B-15.
- B. The character of Jespersen Drive/Horizon Lane and the R-1 Residential Road abutting the Town Center should provide a pedestrian-friendly environment with accessible sidewalks, bulbouts, parkway landscaping, street trees, limited driveway access points, and reduced front building setbacks.
- C. Roundabout, bulbouts, and decorative paving should be incorporated at primary intersections locations such as Venture Drive/Earthwood Lane or Jespersen Drive/R-1 Residential Road, where appropriate. Roundabouts shall provide decorative landscaping, including trees that provide for monumentation and reference points within the project. The Town Center roundabout shall also include agricultural implements such as water towers and windmills to accentuate the agricultural design character of the Town Center.
- D. The Neighborhood Park should be designed to provide neighborhood recreation needs including a mix of passive and active areas that foster social interaction and healthy lifestyles.
- E. Neighborhood Park facilities may include informal turf areas, bocce ball courts, children's play areas, group barbeque areas, group picnic facilities and shade structures, clubhouse, pool, pedestrian and bicycle trails, and community gardens.

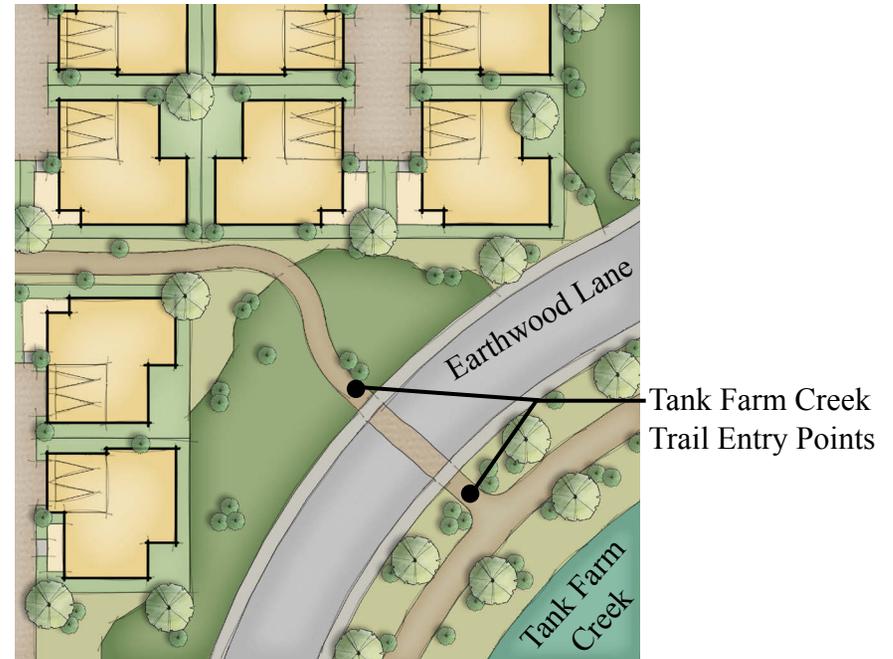


Figure B-15: Neighborhood Access to Tank Farm Creek

- F. Programming of the Neighborhood Park may include shared facilities or related uses with on-site agricultural production such as outdoor learning areas, picnic, farming and cooking demonstrations, and a farm stand.
- G. The plaza located within the Neighborhood Park directly across from the Town Center should incorporate ample seating, trash receptacles, bicycle racks, a central organizing feature, unique landscaping, and pervious hardscape.

B.3 Parking

Parking is an essential component of all proposed land uses within the Avila Ranch project. Ensuring adequate buffering between abutting land uses, public streets, and commercial parking areas will ensure the promotion of the high-quality environment envisioned for the development. Parking requirements for specific land uses within Avila Ranch are found within Chapter 17.16.060 of the City of San Luis Obispo Municipal Code. Parking for the R-2 zone shall be provided with two covered spaces per unit, on street parking, and at least two on-site guest parking spaces per 6-pack or 4-pack cluster. Parking stalls to be designed per Engineering Standards 2220.

Standards

- B.3.1. Goal 5.4 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Parking section.
- B.3.2. Parking for the Neighborhood Park shall be provided through both on-site parking and shared parking with the Town Center commercial area. Any on-site parking associated with the Neighborhood Park shall be located within a parking lot or other parking space configurations on the north side of the park. These parking lots shall provide for bicycle storage, staging areas, and special event parking.
- B.3.3. Driveway access points for the Neighborhood Commercial Town Center shall be located along the R-1 Residential Road adjacent to the R-1 Residential zone as shown in Figure B-16.
- B.3.4. Parking shall be designed and sited to minimize and buffer commercial noise from adjacent residential land uses.

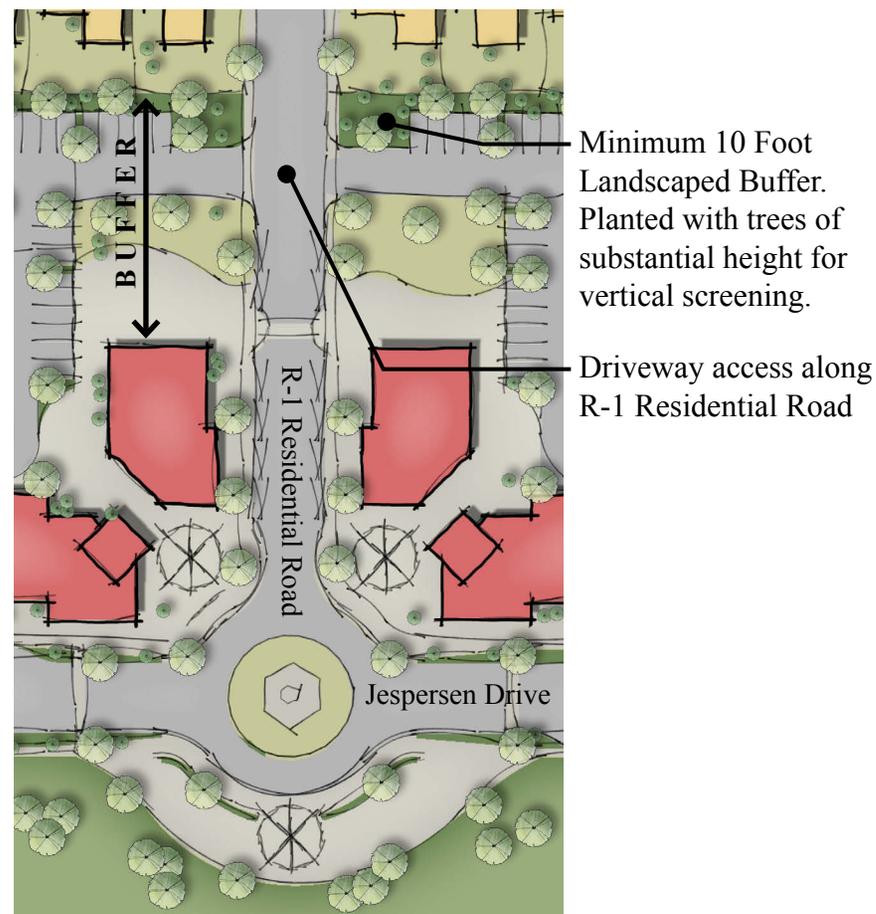


Figure B-16: Neighborhood Commercial Driveway Access

- B.3.5. A ten foot minimum landscape buffer shall be provided on the Neighborhood Commercial properties adjacent to the R-1 Residential zone and the Neighborhood Commercial Town Center. In addition there shall be a minimum forty-five (45) foot rear yard for any R-1 units that back onto the Neighborhood Commercial properties due to ALUP Safety Area requirements.
- B.3.6. Parking for the R-4 units shall be carports for added noise mitigation and visual screening.

Guidelines

- A. *Residential walkways within front yard setbacks should utilize alternative paving materials such as stamped/colored concrete, paving stones, tiles, and/or bricks*
- B. *Parking courts and common driveways should incorporate accent paving that emphasizes pedestrian connections to main residential entries, and should utilize alternative paving materials such as stamped/colored concrete, paving stones, tiles, and/or bricks.*

B.4 Outdoor Use Areas

While outdoor use areas, as defined by the AASP, are unlikely to occur within the project area, any outdoor use areas proposed in conjunction with Avila Ranch land uses will meet the standards and guidelines outlined within the AASP.

Standard

- B.4.1 Goal 5.5 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Outdoor Use Areas section.

B.5 Screening

Service, storage areas, trash and recycling collection areas, and utilities associated with proposed Avila Ranch land uses will be properly screened to minimize visual impact and promote the natural, unobstructed open space views.

Standard

- B.5.1 Goal 5.6 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Screening section.

Guideline

- A. *Equipment related to on-site agricultural production should be properly stored and screened from public view.*

C. Preservation of Views and Scenic Resources

C.1 Views from the Road

The City of San Luis Obispo General Plan identifies Buckley Road as a scenic corridor that should be maintained in order to protect views of surrounding open space resources. A minimum 300-foot wide buffer has been incorporated into the Avila Ranch Development Plan along Buckley Road to maintain the scenic nature and the rural/agricultural character of this corridor. Uses within this buffer provide a wide range of amenities for the area including accessible multi-use trails, naturalized open spaces, and agriculture production. Views of structures visible from Buckley Road are minimized through the incorporation of landscaping and natural screening techniques.

Standards

- C.1.1 Goal 5.7 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Views from the Road section.

- C.1.2 Views along Buckley Road towards the Irish Hills to the west and towards the Santa Lucia range and foothills to the east shall be maintained through the incorporation of an open space and park buffer of a minimum 300 feet wide along Buckley Road as shown in Figure B-17.
- C.1.3 Views along Jespersen Drive at the crossing of Tank Farm Creek shall be maintained to maximize views of surrounding open spaces.

Guidelines

- A. *Visible building facades from Buckley Road should be minimized to maintain the scenic nature of the corridor through landscaping and/or other natural screening techniques.*
- B. *Cul-de-sacs should be open ended and/or dead-end onto open space or park areas.*

C.2 Gateways

The AASP does not identify areas within the Avila Ranch development as possible locations of a gateway for the City of San Luis Obispo. If a gateway is identified and proposed on the Avila Ranch site within the future, goals, standards, and guidelines found within the AASP will take precedent.

Standard

- C.2.1 Goal 5.8 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Gateways section.
- C.2.2 A project complimentary (e.g. Figure B-1) Entry Gateway shall be provided at intersection of Jespersen Drive and Buckley Road. See Figure B-5.

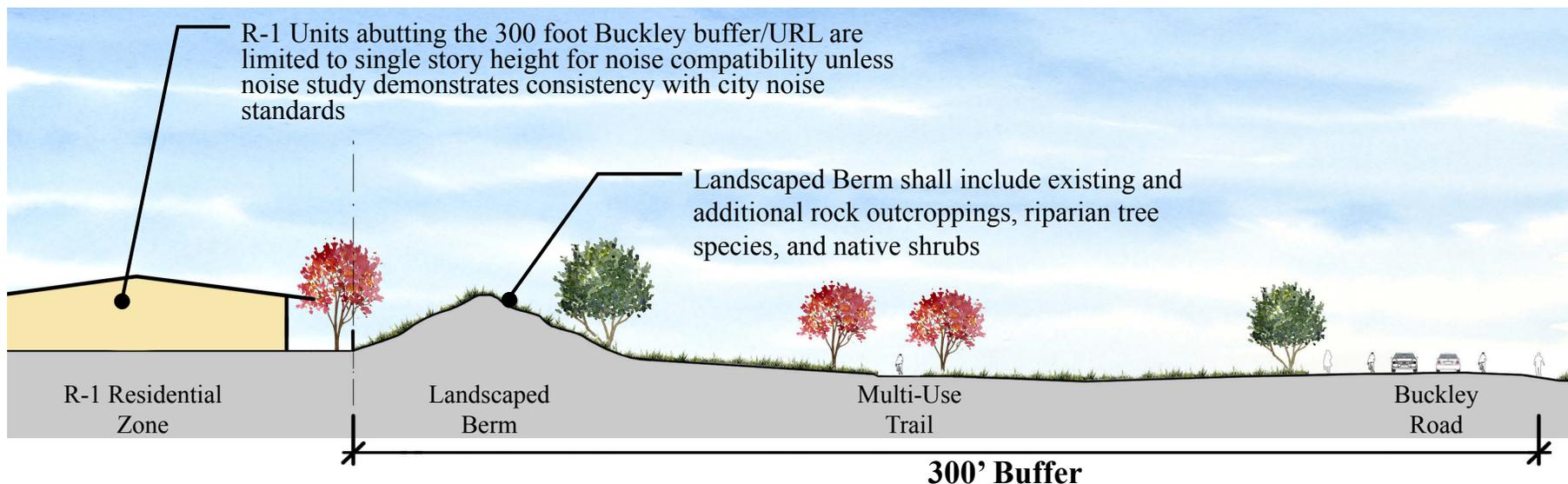


Figure B-17: Buckley Road Agriculture and Open Space Buffer Section



Figure B-18: Residential Character along typical residential street.

D. Architecture

D.1 Architectural Character

The architectural character of Avila Ranch is to be representative of the agricultural heritage associated with southern San Luis Obispo as well as architectural styles typically found within the city. A contextual appropriate selection of architectural styles aides in defining the context of the site from the rural character along the southern property line to the industrial character found along the northern property edge. A list of permitted architectural styles appropriate for each land use within Avila Ranch has been provided to ensure consistency with the overall project vision.

Standards

- D.1.1 Goal 5.9 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Architectural Character section.
- D.1.2 The architectural styles for residential land uses within Avila Ranch shall be Agrarian, California Bungalow, Contemporary, Craftsman, or Mission as illustrated in Figures B-19 through B-23.

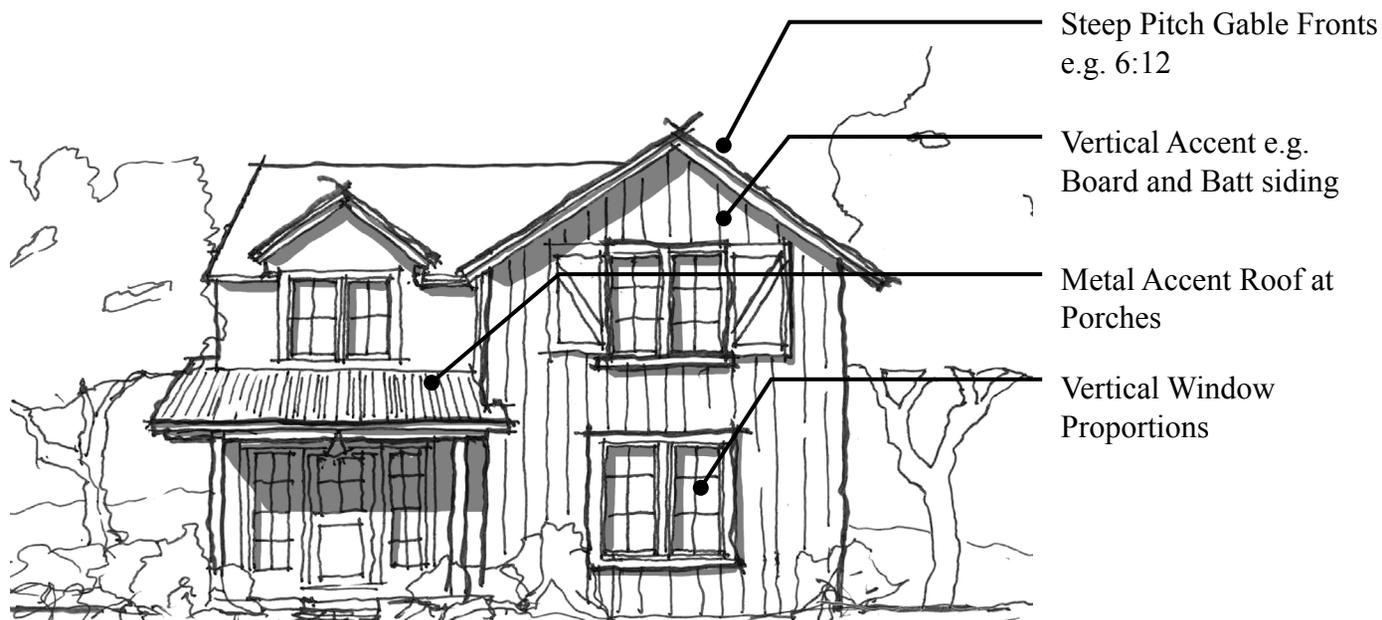
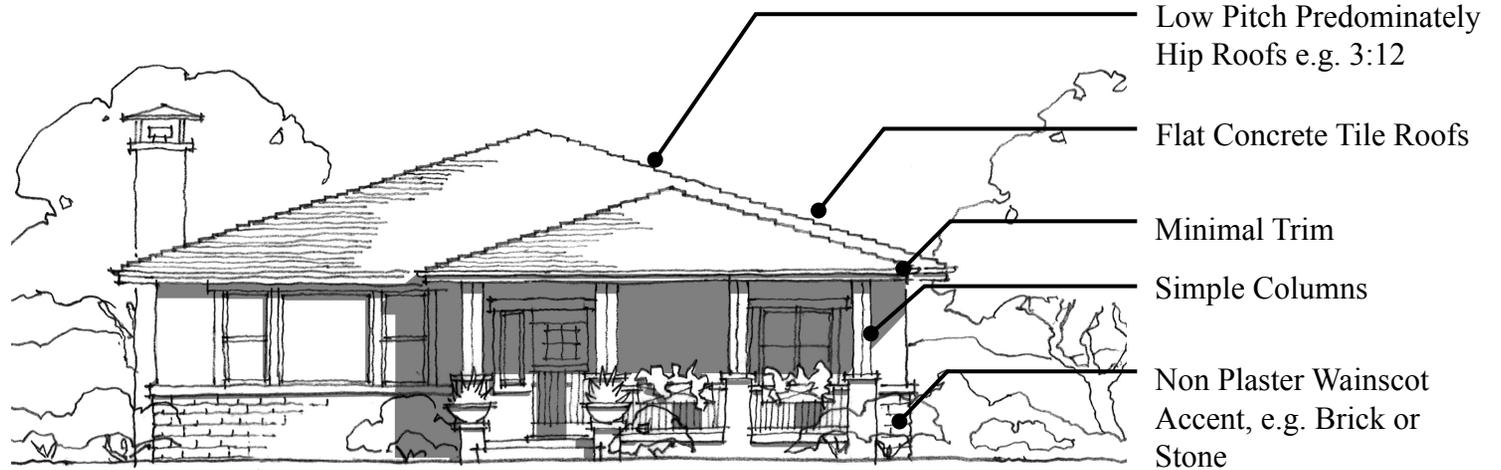
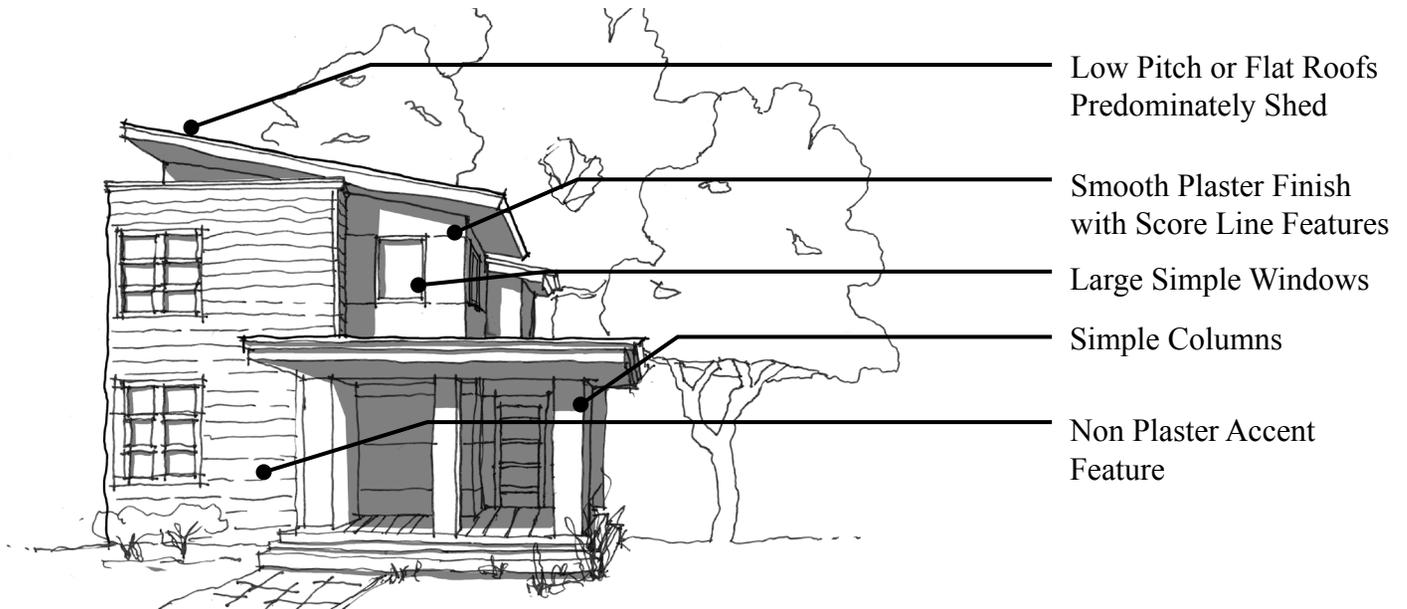


Figure B-19: Agrarian Architecture Style



- Low Pitch Predominately Hip Roofs e.g. 3:12
- Flat Concrete Tile Roofs
- Minimal Trim
- Simple Columns
- Non Plaster Wainscot Accent, e.g. Brick or Stone

Figure B-20: California Bungalow Architectural Style



- Low Pitch or Flat Roofs Predominately Shed
- Smooth Plaster Finish with Score Line Features
- Large Simple Windows
- Simple Columns
- Non Plaster Accent Feature

Figure B-21: Contemporary Architectural Style e.g. Mid-Century Modern