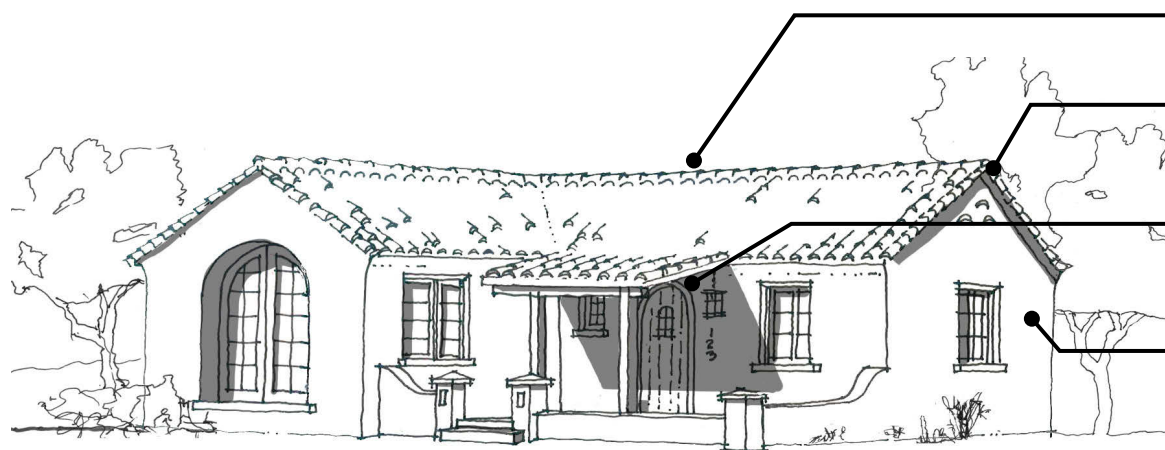


- Concrete Flat Tile Roofs
- Large Exposed Overhangs
- Oversized Bracing
- Predominately Gable
Roofs With Non-Plaster
Gable End Treatments
- Simple Trim

Figure B-22: Craftsman Architectural Style



- Low Sloping S-Tile Roofs
- Exposed Minimal Eaves
- Arched Openings e.g.
Doors, Windows, Porches
- Smooth or Sand Plaster
Finish

Figure B-23: Mission Architectural Style

D.1.3 In order to create some individualism to each neighborhood or enclave, there shall be a dominant style for each neighborhood, with supporting architectural styles to avoid monotony. The percentage proportions of architectural styles within the R-2 zones of Avila Ranch shall be integrated as follows (See Figure B-24) in order to create the desired residential character and transitioning of the site from south to north:

- *Neighborhood Area 1:* 60% of units shall be designed with Agrarian style architecture. The remaining 40% of units shall be divided into 10% increments between the other allowed residential architectural styles. Any fraction of a number over a half shall be rounded up to the nearest whole number with any remaining balance placed in an architecture style of choice.
- *Neighborhood Area 2:* 60% of all units shall be designed with California Bungalow/Craftsman style architecture. The remaining 40% of units shall be divided into 10% increments between the other allowed residential architectural styles. Any fraction of a number over a half shall be rounded up to the nearest whole number with any remaining balance placed in an architecture style of choice.
- *Neighborhood Area 3:* 60% of all units shall be designed with Contemporary style architecture. The remaining 40% of units shall be divided into 10% increments between the other allowed residential architectural styles. Any fraction of a number over a half shall be rounded up to the nearest whole number with any remaining balance placed in an architecture style of choice.

D.1.4 R-4 zone shall be designed uniformly with one of the allowed residential architectural styles. (*Neighborhood Area 4*)

D.1.5 R-1 zone shall be designed with a proportional yet mixed use of at least three of the allowed residential architectural styles. (*Neighborhood Area 5*)

D.1.6 The Neighborhood Commercial Town Center buildings and any buildings located within the Conservation/Open Space zoned areas shall be designed uniformly with an Agrarian or Contemporary style architecture. (*Neighborhood Area 6*)

D.1.7 R-3 zone shall be designed uniformly with one of the allowed residential architectural styles. (*Neighborhood Area 7*)

D.1.8 Porches shall have a minimum depth of six (6) feet.

D.1.9 Residences shall have entries that front onto the street with the exception of residences configured in a parking court within R-2 zones. Where possible, these interior R-2 units shall have frontage treatments onto adjacent parks or open spaces. Units that are adjacent to the parkway commons in Neighborhood Area 2 shall have frontage treatments along that parkway and the interior motor court/common driveway.

D.1.10 Buildings within R-3 and R-4 zones shall have covered porches, entries, or walkways that front onto the street.

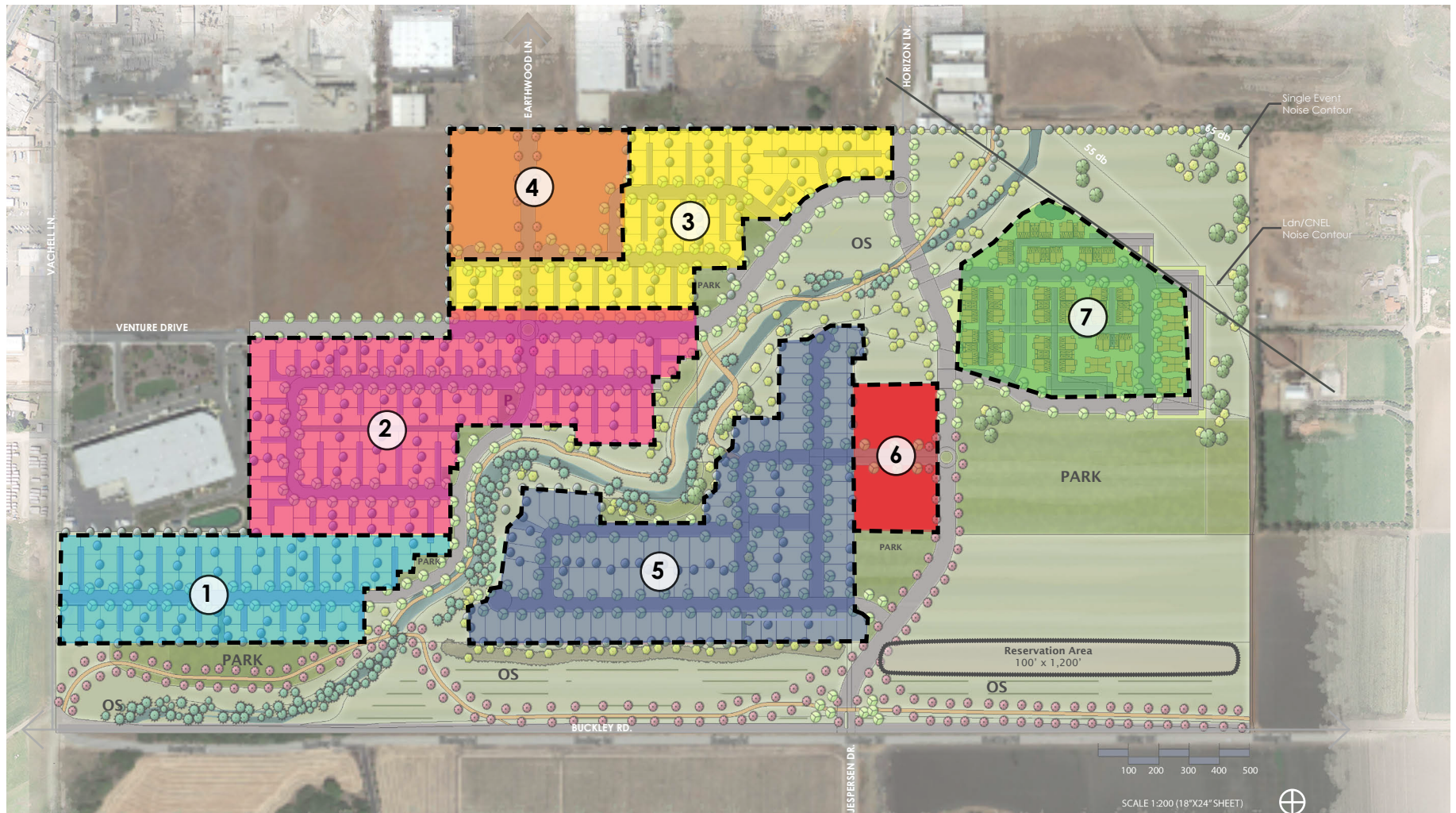


Figure B-24: Neighborhood Area Key Plan

LEGEND

- ① Neighborhood Area 1: See D.1.3 (bullet 1)
- ② Neighborhood Area 2: See D.1.3 (bullet 2)
- ③ Neighborhood Area 3: See D.1.3 (bullet 3)
- ④ Neighborhood Area 4: See D.1.4
- ⑤ Neighborhood Area 5: See D.1.5
- ⑥ Neighborhood Area 6: See D.1.6
- ⑦ Neighborhood Area 7: See D.1.7

Guidelines

- A. *Residential elevations within the R-1 and R-2 zones should not be repeated more frequently than every fourth house. This variation may be achieved by not repeating both a color scheme and an elevation style.*
- B. *The Neighborhood Commercial Town Center architectural character should reflect Agrarian style architecture that may be represented through modern barn, rustic barn, or other contemporary barn elements.*
- C. *The Architectural Review Commission, Planning Commission, and any other approving body may allow an exception to the height requirements for the Neighborhood Commercial Town Center focal point provided that architectural features meet the desired Agrarian architectural character.*
- D. *Residences within the R-1 zone should incorporate a covered front porch.*
- E. *Residences within the R-2 zone that front collector or local residential roads should include a porch.*

D.2 Scale and Massing

The pedestrian and agricultural character of Avila Ranch will be reflected through appropriately scaled buildings and landscaping. It is anticipated that building forms will be modest in size with individual components of buildings expressively articulated through playful use of massing.

Standards

- D.2.1 Goal 5.10 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Scale and Massing section.

- D.2.2 To avoid garage dominated streets, a portion of the house or porch within the R-1 Residential Zone shall be at least five (5) feet in front of the garage.

Guidelines

- A. *Variation in front yard setbacks, lot widths, and one and two story homes should be used to create a diversity of architectural massing.*
- B. *Massing design should include:*
 - *Variation in the wall plane (projection and recess).*
 - *Variation in wall height.*
 - *Roofs located at different levels.*
- C. *Portions of the upper story of a two-story home should be stepped back in order to reduce the scale of the façade that faces the street and to break up the overall massing. This could be achieved with a porch covering a min of 60% of the front facade.*
- D. *Architectural elements that add visual interest, scale, and character to the neighborhood, such as recessed or projecting balconies, verandas, or porches should be included within building designs.*
- E. *A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into residential designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.*
- F. *Garages should be recessed behind the home's main façade to minimize the visual impact of the garage door and parking apron from the street.*
- G. *Garages located in parking court configurations should be recessed in order to increase the prominence of the main entry.*

D.3 Building Heights

Building heights for residential structures are expected to range from one to three stories in order to accommodate both single-family and multi-family developments. Commercial structures located within the Town Center are two stories in height but buildings adjacent to corner plazas across from the park may be up to three stories.

Standards

- D.3.1 Goal 5.11 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Building Heights section.
- D.3.2 Residential building heights shall abide by the development standards set forth in the Airport Area Specific Plan Amendment.
- D.3.3 Buildings located within the Neighborhood Commercial zone shall abide by the building height requirements set forth within Chapter 17.38 of the City's development code.
- D.3.4 A minimum of 25% of R-1 zone units shall be single story. Single story units shall be concentrated along the landscaped berm, parallel to Buckley, unless it can be demonstrated that a two-story R-1 can conform to the city noise regulations.

D.3.5 Guideline

- A. *Town Center buildings abutting the two plazas at the corner of Jespersen Drive and the R-1 Residential Road should be two stories of at least 20 feet in height, but may be up to three stories.*

D.4 Architectural Façade and Treatment

Facades and architectural treatments of buildings within Avila Ranch are designed as a collection of high quality, individual neighborhoods comprised of individually articulated and highly detailed structures. To meet this high standard of quality, full articulation of building facades and use of architecturally compatible treatments will be utilized consistently throughout the development.

Standard

- G.4.1 Goal 5.12 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Architectural Façade and Treatment section.

Guidelines

- A. *Entries should be enhanced to reflect the architectural style and details of the building.*
- B. *Windows should be articulated with accent trim, sills, shutters, window flower boxes, awnings, or trellises authentic to the architectural style of the building.*
- C. *Windows, garage windows, and doors should complement the architectural style of the building.*
- D. *Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.*

D.5 Materials and Colors

Materials considered appropriate for Avila Ranch are those that have generally stood the test of time such as stone, brick, wood, glass, plaster, and metal. Each development may choose to express its unique identity through material and color selection, as long as they are compatible with the overall character of the area.

Standard

- D.5.1 Goal 5.13 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Materials and Colors section.

Guidelines

- A. Roof tiles and colors consistent with the architectural style of the house should be incorporated. Roofing colors should be soft earth tones.*
- B. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges. Vents should be painted to match the roof color.*
- C. As part of the last development phase, the building materials, colors, entries, and windows of the Neighborhood Commercial Town Center should reflect adjacent residential character.*

E. Landscape

E.1 Planting Concept

Landscaping for the Avila Ranch development is envisioned to reflect both the natural and agricultural landscapes of San Luis Obispo. Natural landscape patterns have been integrated within the Tank Farm Creek riparian corridor (Figure B-25) and within Conservation/Open Space areas. Agricultural landscape patterns have been incorporated along Jespersen Drive and adjacent to the on-site agriculturally related facilities .

Standards

- E.1.1 Goal 5.14 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Planting Concept section.
- E.1.2 Trees planted within Avila Ranch outside of residential zones shall be chosen from the City's approved Street Tree Master List and shall be in conformance with the master plan in Figures B-26 and B-27.
- E.1.3 Shrubs, perennials, and ground cover planted outside of residential zones within Avila Ranch shall be in conformance with the master plan in Figures B-25 and B-26.
- E.1.4 Trees, shrubs, perennials, and ground cover planted within the residential portions of Avila Ranch shall be located as shown in Figure B-28 and B-29, shall be chosen from the City's approved Street Tree Master List, and shall be in conformance with the Residential Plant Palette listed in Figures B-27 and B-30.



Figure B-25: Multi-Use Path Along Tank Farm Creek (looking north)

- E.1.5 Street trees shall be provided in tree wells along streets abutting the Neighborhood Commercial Town Center with the intent of developing a continuous canopy over the sidewalk.
- E.1.6 Trees, shrubs, and plants chosen to be planted along the Tank Farm Creek riparian corridor shall utilize native, locally procured varieties.
- E.1.7 Plants and shrubs planted on properties adjacent to Tank Farm Creek shall be properly situated and maintained in order to avoid spreading into the adjacent riparian corridor.
- E.1.8 Plants and shrubs shall be low water using.
- E.1.9 Turf shall not be located within front yards of residential zones.

- E. *A windrow should be provided along Jespersen Drive from Buckley Road to the Neighborhood Commercial Town Center.*
- F. *Agriculture production related facilities should integrate a grove or farm compound styled tree plantings to unify and add visual interest to the site.*

Guidelines

- A. *Street trees unique to each neighborhood should be utilized to provide a layer of consistency and individuality for that neighborhood.*
- B. *Native trees, plants, and other low water using plant varieties are encouraged within Avila Ranch and should be integrated into the project to the greatest extent possible.*
- C. *Community gardens that are easily accessible to residents should be incorporated within Avila Ranch in mini parks, pocket parks, and the Neighborhood Park.*
- D. *Open space areas adjacent to Buckley Road should incorporate productive and viable agricultural areas that can be farmed by local businesses or non-profits.*



Figure B-26: Landscape Plan

LEGEND










	Bioretention Areas		Drought Tolerant Parkways		Park Trees
	Drought Tolerant Open Space		Native Riparian Open-Space		Street Trees
	Agricultural Open Space				Riparian Trees
	Turf				

Figure B-27: Landscape Palette

Bioretention Areas

BOTANICAL NAME / COMMON NAME

Carex divulsa / Berkeley Sedge
 Carex praegracilis / Slender Sedge
 Chondropetalum tectorum / Cape Rush
 Juncus effusus / Soft Rush
 Juncus patens / California Gray Rush
 Leymus condensatus `Canyon Prince` / Native Blue Rye

Drought Tolerant Open Space

BOTANICAL NAME / COMMON NAME

Achillea millefolium `Calistoga` / Common Yarrow
 Achillea millefolium `Paprika` / Red Yarrow
 Baccharis pilularis `Pigeon Point` / Coyote Brush
 Baccharis pilularis consanguinea `Poza Surf` / Lowly Coyote Brush
 Epilobium californicum `Everett's Choice` / California Fuchsia
 Eriogonum arborescens / Santa Cruz Island Buckwheat
 Eriogonum umbellatum / Sulfurflower Buckwheat
 Heteromeles arbutifolia / Toyon
 Leymus condensatus `Canyon Prince` / Canyon Prince Wild Rye
 Muhlenbergia dubia / Pine Muhly
 Muhlenbergia rigens / Deer Grass
 Salvia spathacea `Las Pilitas` / Hummingbird Sage
 Stipa pulchra / Purple Needle Grass
 Zauschneria californica `Catalina` / California Fuchsia

Agricultural Open Space

BOTANICAL NAME / COMMON NAME

Agriculture/Crop Species / Misc. Crop

Turf

BOTANICAL NAME / COMMON NAME

Festuca arundinacea hybrid `Bermuda` / Dwarf Tall Fescue

Drought Tolerant Parkways

BOTANICAL NAME / COMMON NAME

Aloe x `Always Red` / Aloe
 Arctostaphylos x `Pacific Mist` / Pacific Mist Manzanita
 Arctostaphylos uva-ursi `Point Reyes` / Kinnikinnick
 Artemisia x `Powis Castle` / Powis Castle Artemisia
 Baccharis pilularis / Dwarf Coyote Brush
 Beschorneria yuccoides / Amole
 Carex divulsa / Berkeley Sedge
 Carex tumulicola / Berkeley Sedge
 Ceanothus x `Centennial` / Centennial Ceanothus
 Encelia californica / California Encelia
 Eriogonum fasciculatum `Theodore Payne` / Theodore Payne's Buckw
 Grevillea x `Austraflora Canterbury Gold` / Grevillea
 Hesperaloe parviflora / Red Yucca
 Salvia x `Allen Chickering` / Sage
 Salvia leucantha / Mexican Bush Sage
 Teucrium chamaedrys / Germander
 Zauschneria californica / California Fuchsia

Native Riparian Open-Space

BOTANICAL NAME / COMMON NAME

Baccharis douglasii / Marsh Baccharis
 Baccharis salicifolia / Sticky Seepwillow
 Calycanthus occidentalis / Spice Bush
 Carex praegracilis / Slender Sedge
 Cornus californica / Dogwood
 Cornus stolonifera / Dogwood
 Frangula (Rhamnus) californica / Coffee Berry
 Heteromeles arbutifolia / Toyon
 Juncus patens / California Gray Rush
 Ribes viburnifolium / Evergreen Currant

Community Orchard

BOTANICAL NAME / COMMON NAME

Citrus x aurantiifolia `Bearss Lime` / Bearss Lime
 Citrus x limon `Eureka` / Eureka Lemon
 Citrus x sinensis `Valencia` / Sweet Orange
 Malus domestica / Apple
 Prunus armeniaca / Apricot
 Prunus persica `Babcock` / Babcock Peach
 Pyrus communis / Common Pear

Park Trees

BOTANICAL NAME / COMMON NAME

Aesculus californica / California Buckeye
 Arbutus menziesii / Pacific Madrone
 Chilopsis linearis / Desert Willow
 x Chitalpa tashkentensis / Chitalpa
 Lyonothamnus floribundus / Catalina Ironwood
 Parkinsonia aculeata / Mexican Palo Verde
 Pinus coulteri / Coulter Pine
 Pistacia chinensis / Chinese Pistache
 Prunus ilicifolia lyonii / Catalina Cherry
 Quercus agrifolia / Coast Live Oak
 Searsia (Rhus) lancea / African Sumac
 Ulmus x `Frontier` / American Elm
 Ulmus parvifolia `Sempervirens` / Chinese Evergreen Elm

Street Trees

BOTANICAL NAME / COMMON NAME

Alnus rhombifolia / White Alder
 Platanus racemosa / California Sycamore
 Populus fremontii / Fremont Cottonwood
 Quercus agrifolia / Coast Live Oak

Riparian Trees

BOTANICAL NAME / COMMON NAME

Agonis flexuosa / Peppermint Tree
 Albizia julibrissin / Silk Tree
 Arbutus x `Marina` / Arbutus Standard
 Brachychiton populneum / Bottle Tree
 Cassia leptophylla / Gold Medallion Tree
 Catalpa speciosa / Northern Catalpa
 Ceiba speciosa / Floss Silk Tree
 Cercis occidentalis / Western Redbud
 x Chitalpa tashkentensis / Chitalpa
 Lagerstroemia x `Acoma` / Crape Myrtle
 Leptospermum x `Dark Shadows` / Tea Tree
 Leptospermum laevigatum / Australian Tea Tree
 Pistacia chinensis / Chinese Pistache
 Robinia x ambigua / Locust
 Searsia (Rhus) lancea / African Sumac
 Ulmus parvifolia `Sempervirens` / Chinese Evergreen Elm