

Figure B-28: R-1 Residential Landscape Palette

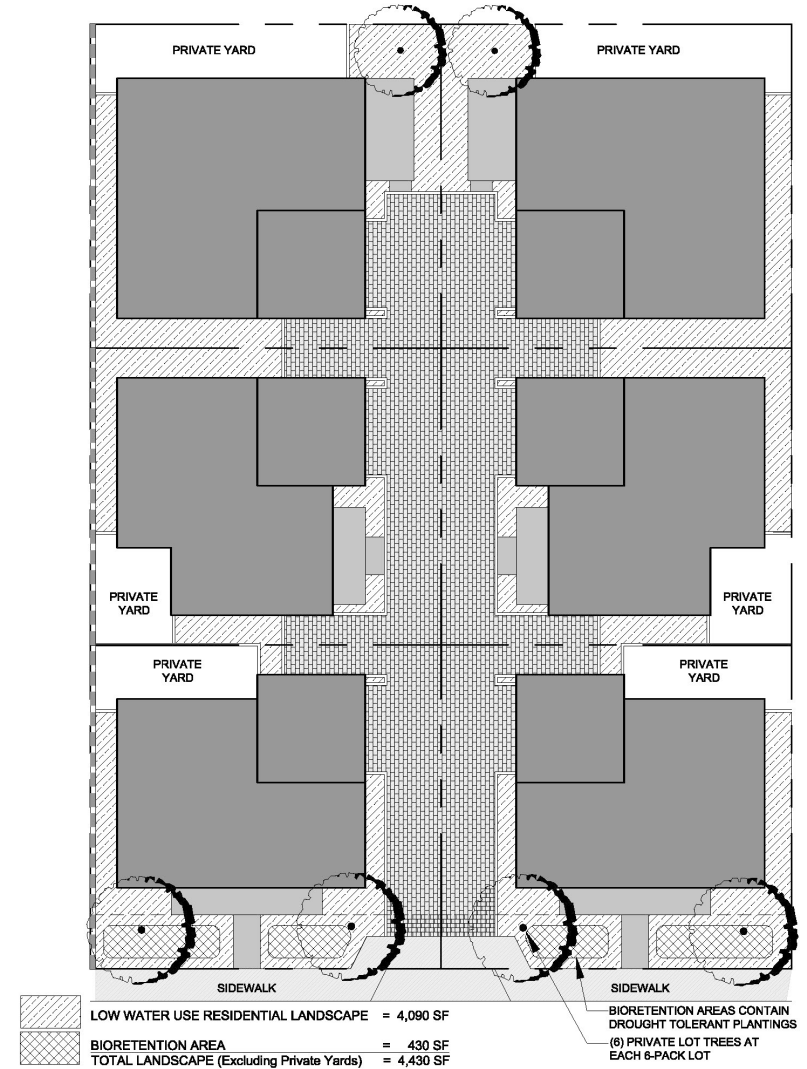


Figure B-29: R-2 Residential Landscape Palette

Figure B-30: Residential Landscape Palette

SHRUBS / PERENNIALS & GROUND COVER

BOTANICAL NAME / COMMON NAME

Achillea millefolium / Common Yarrow
Agave attenuata / Agave
Aloe x `Always Red` / Aloe
Arctostaphylos x `Pacific Mist` / Pacific Mist Manzanita
Baccharis pilularis / Dwarf Coyote Brush
Berberis aquifolium repens / Creeping Barberry
Beschorneria yuccoides / Amole
Bouteloua gracilis `Blonde Ambition` / Blue Grama
Calylophus berlandieri / Berlandier's Sundrops
Carex divulsa / Berkeley Sedge
Ceanothus thyrsiflorus `Arroyo de la Cruz` / Blue Blossom
Ceanothus x `Centennial` / Centennial Ceanothus
Ceanothus thyrsiflorus `Diamond Heights` / Diamond Heights Ceanothus
Ceanothus griseus horizontalis `Yankee Point` / California Lilac
Chondropetalum tectorum / Cape Rush
Dymondia margaretae / Dymondia
Echium x `Purple Tower`
Festuca mairei / Atlas Fescue
Frangula (Rhamnus) californica / Coffee Berry
Grevillea x `Austraflora Canterbury Gold` / Grevillea
Hesperaloe parviflora / Red Yucca
Heteromeles arbutifolia / Toyon
Hunnemannia fumarifolia / Mexican Tulip Poppy
Leptospermum x `Dark Shadows` / Tea Tree
Leucadendron x `Cloudbank Ginny` / Conebush
Lobelia laxiflora / Mexican Lobelia
Lomandra longifolia / Mat Rush
Muhlenbergia dubia / Pine Muhly
Phlomis purpurea / Jerusalem Sage
Prunus ilicifolia lyonii / Catalina Cherry
Salvia leucantha / Mexican Bush Sage
Senecio serpens / Blue Chalksticks
Sesleria caerulea / Blue Moor Grass
Zauschneria californica / California Fuchsia

TREES

BOTANICAL NAME / COMMON NAME

Agonis flexuosa / Peppermint Tree
Albizia julibrissin / Silk Tree
Arbutus x `Marina` / Arbutus Standard
Brachychiton populneum / Bottle Tree
Cassia leptophylla / Gold Medallion Tree
Catalpa speciosa / Northern Catalpa
Ceiba speciosa / Floss Silk Tree
Cercis occidentalis / Western Redbud
x *Chitalpa tashkentensis* / Chitalpa
Lagerstroemia x `Acoma` / Crape Myrtle
Leptospermum x `Dark Shadows` / Tea Tree
Leptospermum laevigatum / Australian Tea Tree
Pistacia chinensis / Chinese Pistache
Robinia x *ambigua* / Locust
Searsia (Rhus) lancea / African Sumac
Ulmus parvifolia `Sempervirens` / Chinese Evergreen Elm

E.2 Buildings

Buildings placed throughout Avila Ranch will be rooted in the surrounding landscape and natural open spaces through the incorporation of contextual landscaping. Landscaping will soften building edges at the ground plane and provide attractive plantings to support the planned environment of the project.

Standard

- E.2.1 Goal 5.15 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Buildings section.

Guideline

- A. Landscaping should be incorporated within parking courts to minimize paving and views of garages.*

E.3 Public Art

In order to weave and integrate Avila Ranch with the existing cultural and aesthetic fabric of San Luis Obispo, public art is intended to be incorporated as a central organizing element within or adjacent to the Town Center plazas or Neighborhood Park. Installations will reflect the agrarian history and context of the area and that of the project site, and may include antique agricultural implements, Aeromotor windmills, and other features.

Standards

- E.3.1 Goal 5.16 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Public Art section.

- E.3.2 Public art shall be incorporated within Avila Ranch in conformance with the City's Public Art for Private Development ordinance.

- E.3.3 Public art shall reflect the agrarian history and context of the site.

Guideline

- A. The location of Public Art is encouraged to be within the Town Center plazas or Neighborhood Park as these are prominent, public locations within Avila Ranch.*

E.4 Signs

Signage designs for land uses within Avila Ranch comply with applicable City Sign Regulations while playfully integrating and playing off of the dominant architectural character of the area. Individual residential neighborhoods are imagined as having unique identification signage to inform and direct residents and visitors. Commercial uses display functional yet simple signage designs that effectively alerts potential patrons to their location within the Avila Ranch development.

Standards

- E.4.1 Goal 5.17 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Signs section.
- E.4.2 All signage within Avila Ranch shall comply with the City of San Luis Obispo's Sign Regulations for applicable Residential, Neighborhood Commercial, and Conservation/Open Space land uses.

E.5 Lighting

Lighting for residential, commercial, and open space uses within Avila Ranch is envisioned to provide adequate illumination levels to aide in the transitioning of urban to rural uses while also providing an appropriate illumination level to address public safety concerns. Proposed lighting is intended to maintain the current low lighting levels that distinctly differentiate between existing urban and rural land uses within the area.

Standards

- E.5.1 Goal 5.18 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Lighting section.
- E.5.2 Exterior lighting within the Specific Plan Area shall comply with the City of San Luis Obispo's Community Design Standards, Airport Area Specific Plan, and Night-Sky Preservation site requirements.
- E.5.3 All exterior lighting within Avila Ranch shall be compatible with and complement the architectural styles and landscape designs proposed.
- E.5.4 Exterior lighting fixtures shall be properly shielded to minimize light overflow and glare onto adjacent properties.
- E.5.5 Trail and walking pathway lighting shall be appropriately scaled to the pedestrian. Additional overhead park lighting may be utilized in areas where pedestrian safety is a concern.
- E.5.6 Lighting fixtures shall be energy efficient in accordance with the latest industry and/or technology standards.

E.6 Drainage

Drainage requirements related to Avila Ranch are intended to meet the Regional Water Control Board's Post Construction Requirements. The performance of designed detention basins and permeable surfaces integrated throughout the project ensure on-site retention of the project's share of stormwater runoff while ensuring the safety of adjacent property.

Standard

- E.6.1 Goal 5.19 (and associated standards and guidelines) outlined within the AASP shall be referred to and incorporated as part of this Avila Ranch Drainage section.
- E.6.2 A landscaped drainage swale shall be included along northern property line of Avila Ranch within the R-2 and R-4 Residential Zones as shown in Figures B-31 and B-32, to facilitate drainage from adjacent property, and to provide screening to the light industrial properties to the north.

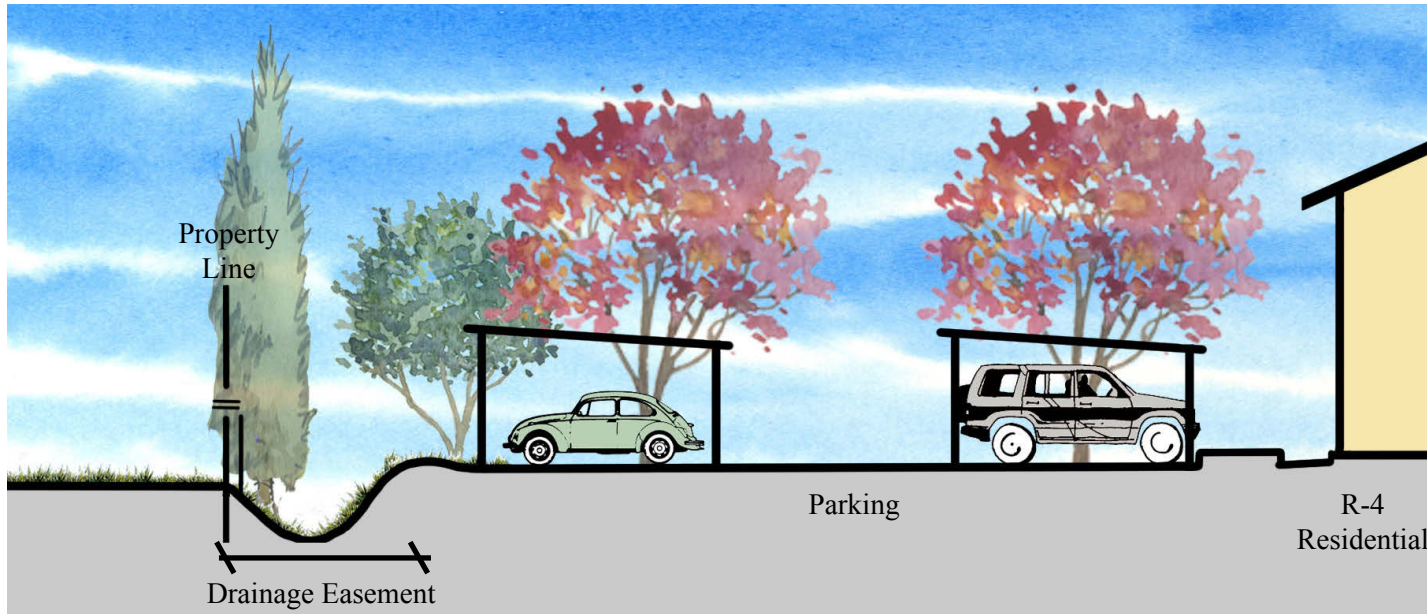


Figure B-31: R-4 Drainage Buffer Section

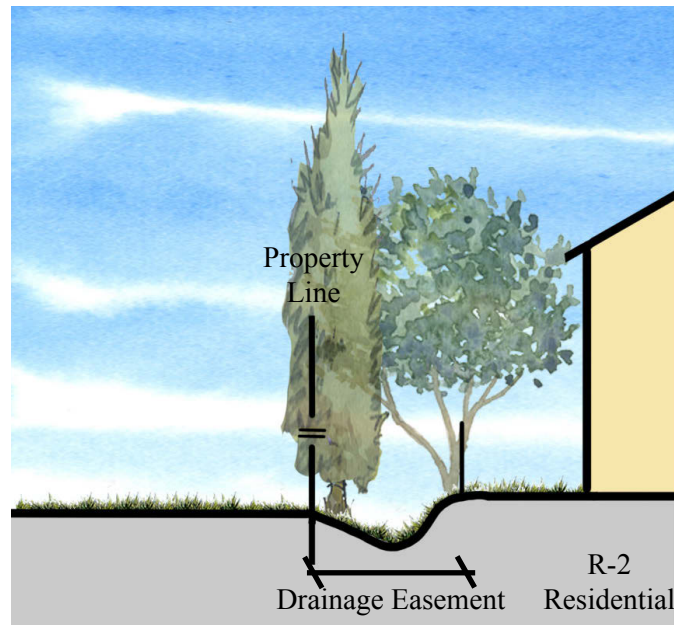


Figure B-32: R-2 Drainage Buffer Section

E.7 Fencing

Fencing proposed for Avila Ranch will add to visual quality and character of the overall development. In addition to the existing City fencing requirements, the following standards and guidelines apply to all residential lots within Avila Ranch in order to maintain and emphasize views of Tank Farm Creek.

Standard

E.7.1 Residential lots adjacent to Tank Farm Creek, parks, open spaces, or walking pathways shall use open fencing types, as shown in Figure B-33.

Guideline

A. Fencing adjacent to Tank Farm Creek, parks, open spaces, or walking pathways should use wrought iron or split rail fencing types (See Figure B-34 for examples).



Figure B-33: Open Creekside Fencing

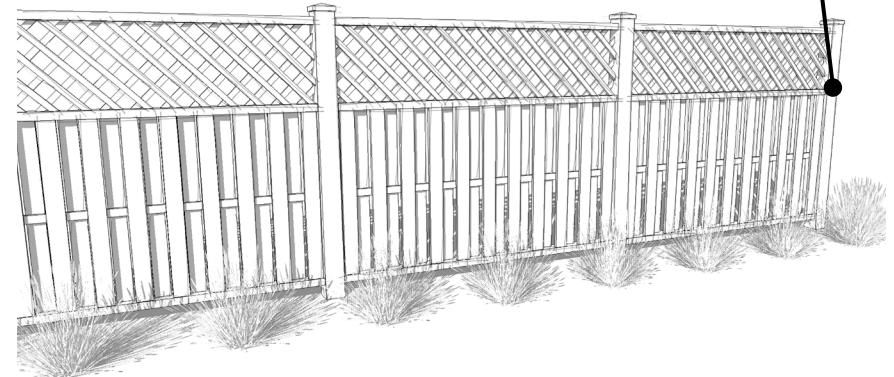
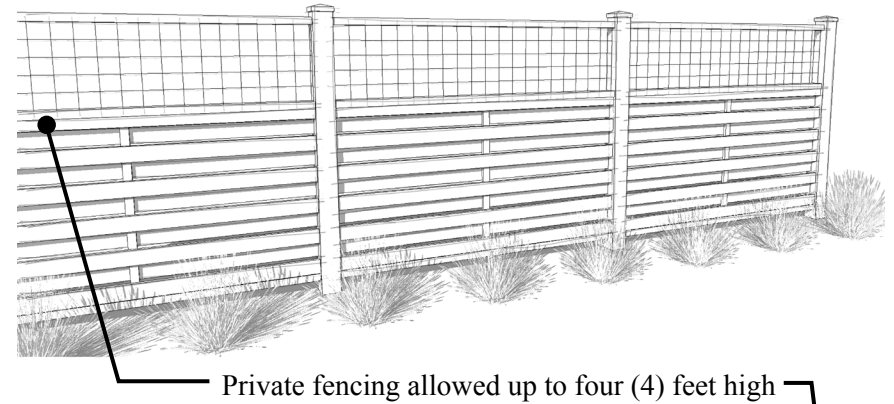


Figure B-34: Near Open Space and Tank Farm Creek Semi-private Fencing Examples.

E.8 Agriculture

Several acres of Conservation/Open Space land uses are integrated within the Avila Ranch development as buffer areas. Portions of these buffer areas adjacent to Buckley Road are envisioned to be utilized as productive agriculture. The following standards and guidelines will apply.

Standard

- E.8.1 A landscape buffer shall exist to ensure proper buffering of residential and commercial land uses from on- and off-site agriculture production areas.

Guidelines

- A. The Avila Ranch Community Farm should be located to the east side of Jespersen Drive, south of the Neighborhood Park.*
- B. The Avila Ranch Community Farm may include a farm complex comprised of a small barn, packing shed, and produce cooler located south of the Neighborhood Park and east of Jespersen Drive.*
- C. Fruit and vegetables grown on-site should utilize farming practices, where feasible.*
- D. A farm stand that sells both on- and off-site fruit and vegetables should be incorporated and sited in an easily accessible and visible location from Buckley Road.*
- E. Areas designated for farming activities should clearly differentiate between publicly and privately accessible farm operation areas.*

