

Chapter 3

NEIGHBORHOOD FORM



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3 NEIGHBORHOOD FORM



3.1 Introduction

This chapter sets forth general provisions for development within the San Luis Ranch Specific Plan Area and details zoning, allowable land uses, development standards, and design guidelines.

While the San Luis Obispo General Plan is the primary guide for growth and development, this Specific Plan focuses on the San Luis Ranch Specific Plan Area in greater detail by organizing land use and residential development products within customized zoning designations. The intent is to establish a regulating document that implements the “Core 4” values identified within Section 1.2 that includes providing diverse housing opportunities, creating a multi modal community, maintaining and promoting San Luis Obispo’s agricultural heritage, and providing open space and recreation areas.

Using this Chapter

The Specific Plan area is organized into five (5) unique zones. These include Neighborhood General 1 (NG-1), Neighborhood General 2 (NG-2), Neighborhood Commercial (NC), Parks and Open Space (P-OS), and Agriculture (A). Table 3-1 describes the general vision for each zone in greater detail. Zone boundaries were determined based upon protection of 50% of the Specific Plan area as agriculture and open space, incorporation of Prefumo Creek as an open space trail amenity, the desire to locate higher density residential within walking distance to commercial areas; and maximizing commercial visibility along Highway 101 while buffering internal residential uses.

The uses shown in each table as Allowed (A) are acceptable anywhere in the zone in which they are located. They will not require special conditions when developed in accordance with this Specific Plan. Several uses are shown as either “D” or “PC” as a result of potentially incompatible characteristics. “D” or Director’s Administrative Use Permit requires the applicant to submit documents to the City as prescribed by the Director. These documents may include site plans, written descriptions of activities to be conducted, and/or technical studies of site characteristics.

NEIGHBORHOOD FORM GOALS

Provide complete guidance on the land use provisions that will guide future development within the Plan Area.

Offer a diverse mix of housing types that are in keeping with the City’s Housing Element and affordable and workforce housing goals.

Develop a land use classification system that clearly identifies uses allowed in each subarea and provides for an overall mix of uses.

Establish detailed development standards for the Plan Area as a whole, and within each subarea, organized in tables and graphically illustrated wherever possible.

Provide a detailed set of design guidelines that establish the expected level of design while still allowing for flexibility and innovation.

The Director will review the project to ensure the project is properly located with respect to its effects on surrounding properties. Uses that require Planning Commission Use Permit are indicated "PC." Planning Commission Use Permit uses may require special conditions to make them acceptable at particular locations. This may be because of their hours of operation or their potential nuisance aspects such as litter, light, odors, glare, or noise. Uses that are conditionally permitted must submit a Planning Commission Use Permit application to the City. This application is obtainable from the Community Development Department or the City's website. Planning Commission Use Permits are subject to public review and therefore require a Planning Commission hearing. Uses not identified within one of the zoning designation allowable use tables in this chapter are not permitted within the San Luis Ranch Specific Plan Area.

Within each zone there is a summary of permitted uses, development standards, and design guidelines. Permitted

uses within each zone have been customized to reinforce the activities and livable environment. In addition, the Neighborhood General zones incorporate unique residential product types with tailored development standards and guidelines.

Development standards constitute the constraints for a project's building envelope in which new construction is permitted. This approach provides guidance for the built environment while allowing both certainty and flexibility to the built environment. Development standards typically include the words "shall," "minimum," "maximum," "must," "required," or "will."

Design guidelines shape development of the built environment and are intended to serve as a guide for developers, architects, and designers when preparing development plans. Flexibility in interpretation of the design guidelines is permitted as long as the intent is followed. Design guidelines typically include the word "should."

Figure 3.1 Zoning Map

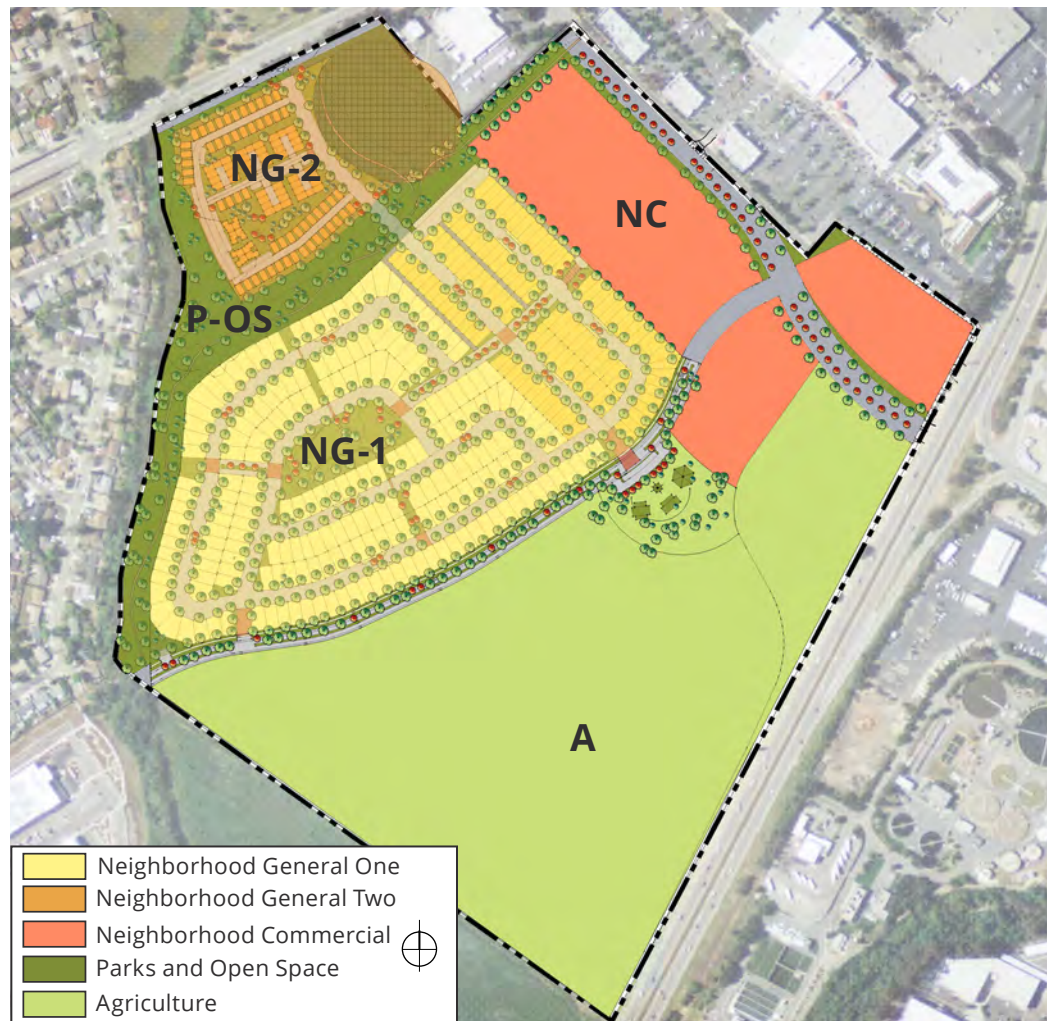


Table 3-1 Specific Plan Zones

<p>Neighborhood General 1 (NG-1)</p> <p>This zone allows for attached and detached single family residential units on lots ranging from 2,400 sf to 3,200 sf with up to 10% exception on irregular shaped lots. Residential products envisioned for this zone include Traditional Single Family, Small-Lot Front Loaded, and Small-Lot Alley Loaded. These products will appeal to a wide variety of home buyers and will support workforce housing needs on the Central Coast.</p>	
<p>Neighborhood General 2 (NG-2)</p> <p>This zone allows for attached and detached units on lots as small as 1,000 sf to lot sizes that can accommodate multi-family residential structures. Residential products envisioned for this zone include Detached Townhomes, Attached Townhomes, and Multi-Family structures such as apartments or condos.</p>	
<p>Neighborhood Commercial (NC)</p> <p>This zone allows commercial development intended to serve neighborhood residents as well as visitors. Table 3-10 includes a wide variety of allowable uses. The vision for this zone is to include a blend of retail, office, hotel, and horizontal mixed-use buildings.</p>	
<p>Parks and Open Space (P-OS)</p> <p>The primary intent of this zone is to provide areas for active and passive recreation that includes community parks, neighborhood parks, pedestrian paths, and habitat restoration areas. This zone accommodates trails, paths, playground equipment, and limited structures necessary to support the specific uses.</p>	
<p>Agriculture (A)</p> <p>The primary intent of this zone is to preserve and maintain agriculture uses consistent with the San Luis Obispo General Plan, as well as integrate agricultural history into the community. Physical development should promote the Specific Plan area's agricultural uses and heritage.</p>	

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Neighborhood General One (NG-1) SPECIFIC PLAN ZONE

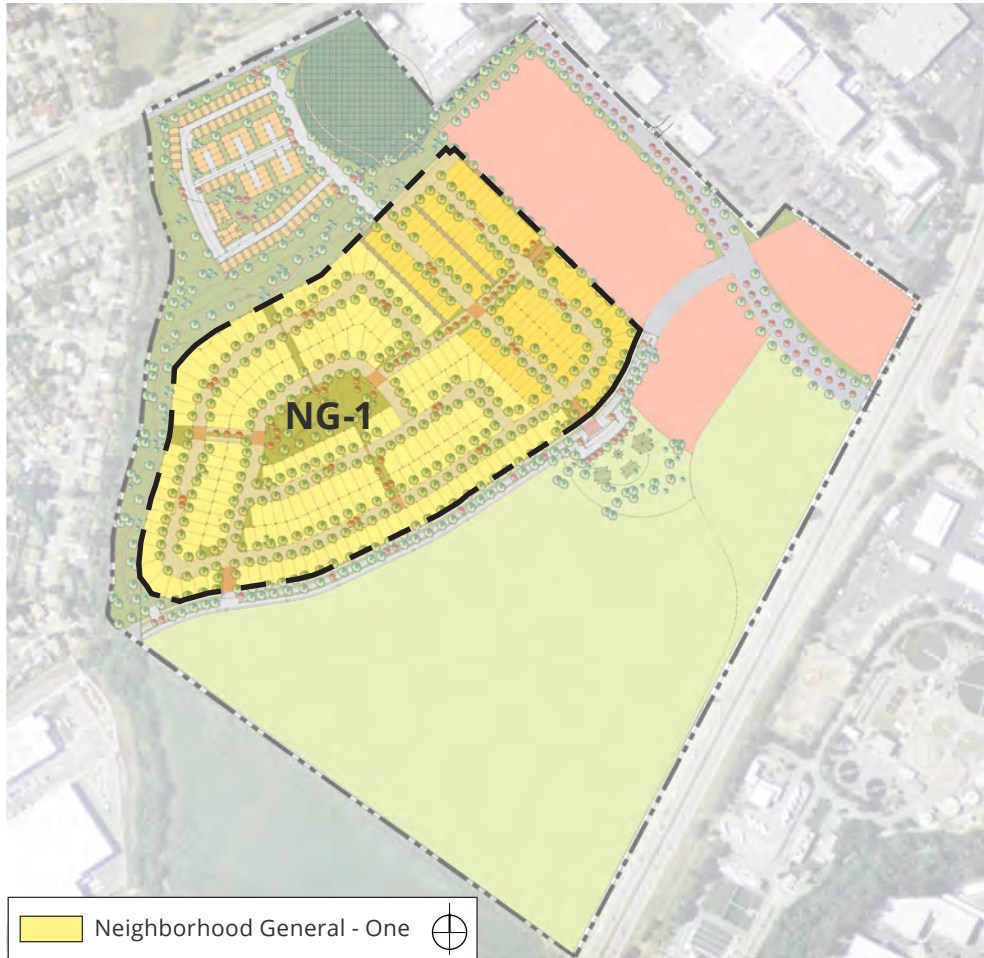


Table 3-2: NG-1 Allowable Uses

Neighborhood General - One (NG-1)		
LAND USE	PERMIT REQUIREMENTS	USE REGULATION
Caretaker quarters	A	
Community Gardens	D	
Day care - Family day care home (small/large)	A	17.08.100
Home occupation	Home Occ Permit	17.08.090
Mobile home as temporary residence at building site	A	
Outdoor/temporary/seasonal sales	A	
Park, playground	A	
Secondary dwelling units	A	17.21
Small-Lot Alley Loaded dwelling	A	See Section 3.4 herein
Small-Lot Front Loaded dwelling	A	See Section 3.3 herein
Traditional Single Family dwelling	A	See Section 3.2 herein
Transit stop	A	

D = Director's Use Permit approval required, PC = Planning Commission Use Permit approval required,
 A = Allowed by right

Figure 3.2 NG-1 Zone Map



Traditional Single Family



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.2 Traditional Single Family Overview

Traditional Single Family residential units are permitted on 3,200 sf minimum lots with a 10% exception on irregular shaped lots. These front-loaded, two story homes evoke a familiar and inviting neighborhood environment. Emphasis should be placed on street setback variations, enhanced articulation of building forms, and incorporation of high-quality materials and architectural detailing. In order to create a diverse and interesting streetscape, garages are setback from the front of the building, turned to the side, or pushed to the rear of the property.

3.2.1. Traditional Single Family Development Standards

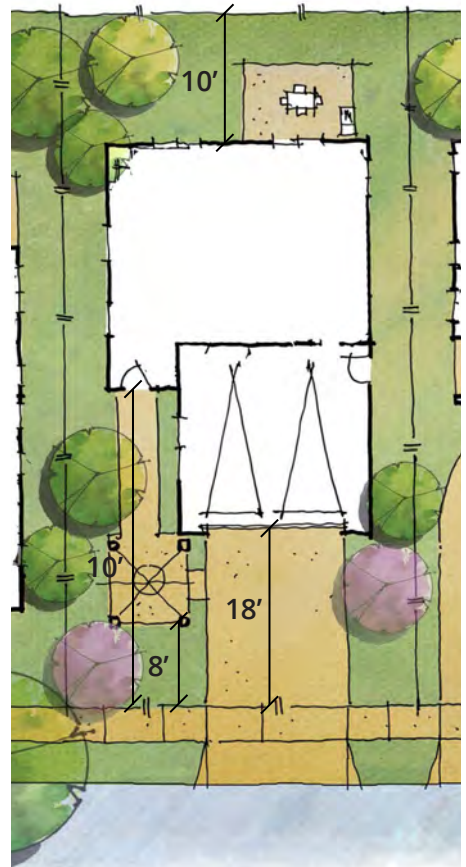
Table 3-3 includes development standards to guide development of Traditional Single Family homes.

Table 3-3: Traditional Single Family Development Standards

Development Standards	
LAND USE	
Zone	NG-1
Allowable Uses	See Table 3-2
LOT REQUIREMENTS	
Lot Area	3,200 sf minimum (Lot Area may vary up to 10% on irregular shaped lots)
Lot Width	40' minimum
Lot Depth	80' minimum
Lot Coverage	75% maximum
BUILDING HEIGHT	
Building Height	35' maximum
SETBACKS	
Street Front	10' minimum
Porch, Portico	8' minimum. Minimum porch dimension shall be six (6) feet.
Garage Interior Lot	18' minimum
Side Interior Lot	0' minimum. Detached buildings are subject to building code separation requirements.
Street Side Corner Lot	5' minimum
Rear	10' minimum
OTHER	
Automobile Parking	2 spaces per unit. At least one parking space shall be covered.
Bicycle Parking	See SLOMC Section 17.16.060
Landscaping	Street setback area shall be landscaped prior to occupancy. One 15 gallon (minimum) production tree shall be planted per unit. Turf is prohibited within the street yard area.
Exterior Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Fences/Walls/Hedges	See SLOMC Section 17.16.050
Signs	See Table 3.15



Traditional Single Family product type



Traditional Single Family site plan

3.2.2. Traditional Single Family Design Guidelines

The following design guidelines apply to Traditional Single Family residential homes within San Luis Ranch.

Building Form

- A. A variety of architectural details, elevations, and setbacks create visual interest to homes. Designs for Traditional Single Family units should not be repeated more frequently than every fourth house.
- B. Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme should be used to complement the overall building design, site, and neighborhood context.
- C. Building facades should incorporate various setbacks and utilize different materials to minimize singular wall planes.
- D. Designs should be oriented to incorporate a relationship between indoor and outdoor spaces.



Example of home that incorporates architectural features such as porches and siding

Setback Variations

- A. In order to improve the visual quality of the streetscape, every third house should include a variation to the front yard setback.
- B. Setback variations should not be less than twenty-five percent (25%) of the standard minimum front yard setback (e.g., a front yard setback of ten [10] feet would include an offset of two-and-a-half [2.5] feet). An offset may be an increase or decrease in setback, as long as the minimum setback is met.



Use of front yard setback variation

Privacy

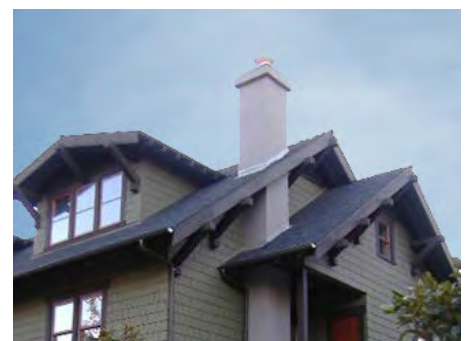
- A. Windows adjacent to a neighboring home should be offset to prevent direct views into neighbor's windows, with specific attention paid to second story windows that look down into first floor windows on adjacent properties.
- B. Balconies and decks should avoid direct sight lines to neighbor's windows or livable outdoor areas. Balconies or decks located on a second story should be recessed or enclosed.



Offset windows and recessed second story to avoid direct sight lines and views

Roofs

- A. A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into house designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.
- B. Roof tiles and colors consistent with the architectural style of the house should be incorporated to enhance the diversity and character of the community. Roofing colors should be soft earth tones to minimize reflective glare and visual impacts.
- C. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. Vents should be painted to



Home with varying roof planes and pitches, accent details enhance the visual quality



Enhanced and articulated entry to reflect architectural style of the house

match the roof color.

Windows and Doors

- A. Entries should be enhanced to reflect the architectural style and details of the building.
- B. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.
- C. Windows, garage windows, and doors should complement the architectural style of the building.

Porches

- A. Porches should have a minimum depth of six (6) feet and should accommodate a small seating area for chairs or a bench.
- B. Homes located on corner lots should have porches that wraparound and address both the primary and secondary building frontages.



Seating area has been incorporated into the entry porch of this house

Private Yard Areas

- A. Traditional Single Family houses should have at least one usable private yard area. Multiple usable outdoor areas (i.e. front, side, and/or rear) are preferable and encouraged where possible.
- B. When used as an outdoor living area, private yards should be a minimum of one hundred and twenty-five (125) square feet with a minimum dimension of eight (8) feet.
- C. When used as a private yard area, side yards should be a minimum one hundred and twenty-five (125) square feet with a minimum dimension of eight (8) feet. Side yards utilized as private yard areas should be integrated into the floor plan of the house to emphasize indoor/outdoor living opportunities.



This home recessed the garage in order to help minimize visual impact of garage door

Garages

- A. Garages should be recessed behind the home's main facade to minimize the visual impact of the garage door and parking apron from the street.
- B. Corner side street-loaded garages may be used on corner lots if the garage is located in the rear half of the lot.
- C. Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.

Landscaping

- A. Landscaping should be comprised of edible, drought-tolerant, or native plant and tree varieties.



Drought-tolerant plants have been used in the landscaping of this home's front yard

Small Lot Front Loaded



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.3 Small Lot Front Loaded Overview

Small Lot Front Loaded residential units are permitted on 2,400 sf minimum lots with a 10% exception on irregular shaped lots. Due to the compact nature of this product type, it is assumed that homes will be two-to-three stories high. As a result, an emphasis should be placed on varying street setbacks, use of high-quality materials, and enhanced articulation of building forms. Tandem garages are permitted to minimize the visual effect of garages along the street.

3.3.1. Small Lot Front Loaded Development Standards

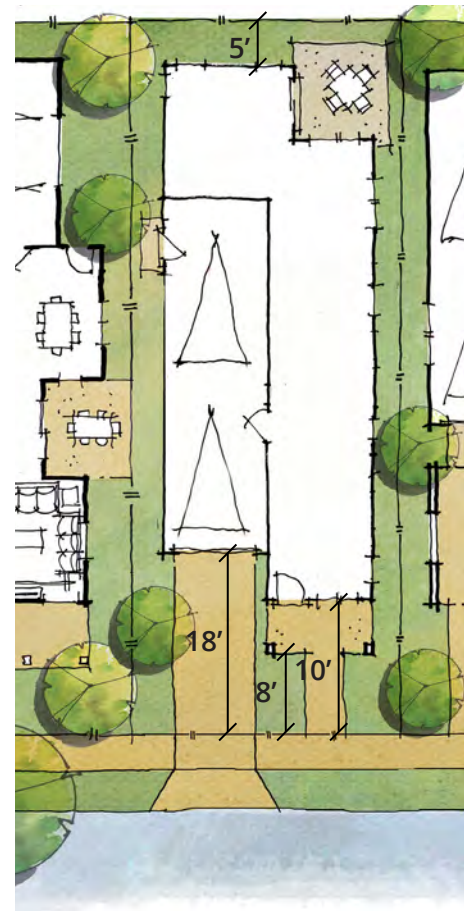
Table 3-4 includes development standards to guide development of Small Lot Front Loaded homes.

Table 3-4: Small Lot Front Loaded Development Standards

Development Standards	
LAND USE	
Zone	NG-1
Allowable Uses	See Table 3-2
LOT REQUIREMENTS	
Lot Area	2,400 sf minimum (Lot Area may vary up to 10% on irregular shaped lots)
Lot Width	30' minimum
Lot Depth	80' minimum
Lot Coverage	75% maximum
BUILDING HEIGHT	
Building Height	35' maximum
SETBACKS	
Street Front	10' minimum
Porch	8' minimum. Minimum porch dimension shall be six (6) feet.
Garage	18' minimum
Side Interior Lot	0' minimum. Detached buildings are subject to building code separation requirements.
Street Side Corner Lot	5' minimum
Rear	5' minimum
OTHER	
Automobile Parking	2 spaces per unit. At least one parking space shall be covered.
Bicycle Parking	See SLOMC Section 17.16.060
Private Yard	At least one (1) private side or rear yard shall be provided at a minimum of 125 sf with a minimum dimension of 8'.
Landscaping	Street setback area shall be landscaped prior to occupancy. One 15 gallon (minimum) production tree shall be planted per unit. Turf is prohibited within the street yard area.
Exterior Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050



Small Lot Front Loaded product type



Small Lot Front Loaded site plan

3.3.2. Small Lot Front Loaded Design Guidelines

The following design guidelines apply to Small Lot Front Loaded residential homes within San Luis Ranch.

Building Form

- A. A variety of architectural details, elevations, and setbacks create visual interest to homes. Designs for Small Lot Front Loaded units should not be repeated more frequently than every fourth house.
- B. Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme should be used to complement the overall building design, site, and neighborhood context.
- C. Building facades should incorporate various setbacks and utilize different materials to minimize singular wall planes.
- D. Designs should be oriented to incorporate a relationship between indoor and outdoor spaces.



Architectural features such as porch, wood detailing, and siding enhance this home

Setback Variations

- A. In order to improve the visual quality of the streetscape, every third house should include a variation to the front yard setback.
- B. Setback variations should not be less than twenty percent (20%) of the standard minimum front yard setback (e.g., a front yard setback of ten [10] feet would include an offset of two [2] feet). An offset may be an increase or decrease in setback, as long as the minimum setback is met.



Setback variation improve streetscape quality

Privacy

- A. Windows adjacent to a neighboring home should be offset to prevent direct views into neighbor's windows, with specific attention paid to second story windows that look down into first floor windows on adjacent properties.
- B. Balconies and decks should avoid direct sight lines to neighbor's windows or livable outdoor areas. Balconies or decks located on a second story should be recessed or enclosed.



Offset windows prevent direct views from neighboring homes

Roofs

- A. A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into house designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.
- B. Roof tiles and colors consistent with the architectural style of the house should be incorporated to enhance the diversity and character of the community. Roofing colors should be soft earth tones to minimize reflective glare and visual impacts.
- C. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. Vents should be painted to



Overhangs and accent details on the roof enhance the visual quality of the building



Window accent trim enhances the architectural style of the building



Porch that incorporates seating area



Private side yard which integrates indoor/outdoor living



Native plants and tree varieties were used in landscaping this home

match the roof color.

Windows and Doors

- A. Entries should be enhanced to reflect the architectural style and details of the building.
- B. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.
- C. Windows, garage windows, and doors should complement the architectural style of the building.

Porches

- A. Porches should have a minimum depth of six (6) feet and should accommodate a small seating area for chairs or a bench.
- B. Homes located on corner lots should have porches that wraparound and address both the primary and secondary building frontages.

Private Yard Areas

- A. Private Yard Areas may include balconies, terraces, patios, roof decks, and/or side and rear yards.
- B. Small Lot Front Loaded houses should have at least one usable private yard area. Multiple usable outdoor areas (i.e. front, side, and/or rear) are preferable and encouraged where possible.
- C. Side yards utilized as private yard areas should be integrated into the floor plan of the house to emphasize indoor/outdoor living opportunities.

Garages

- A. Garages should be recessed behind the home's main facade to minimize the visual impact of the garage door and parking apron from the street.
- B. Corner side street-loaded garages may be used on corner lots if the garage is located in the rear half of the lot.
- C. Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.

Landscaping

- A. Landscaping should be comprised of edible, drought-tolerant, or native plant and tree varieties.
- B. All landscape plans should be reviewed by a licensed landscape architect.

Small Lot Alley Loaded



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.4 Small Lot Alley Loaded Overview

Small-Lot Alley Loaded residential units are permitted on 2,400 sf minimum lots with a 10% exception on irregular shaped lots. The inviting nature of this product type creates warm and friendly street environments with homes that will be two stories high. Use of high-quality materials, enhanced articulation of building forms, and varying street setbacks contribute to the intricacies of the product type. Garages within this product type contain a variety of single, double, and tandem designs with access taken from rear alleys.

3.4.1. Small Lot Alley Loaded Development Standards

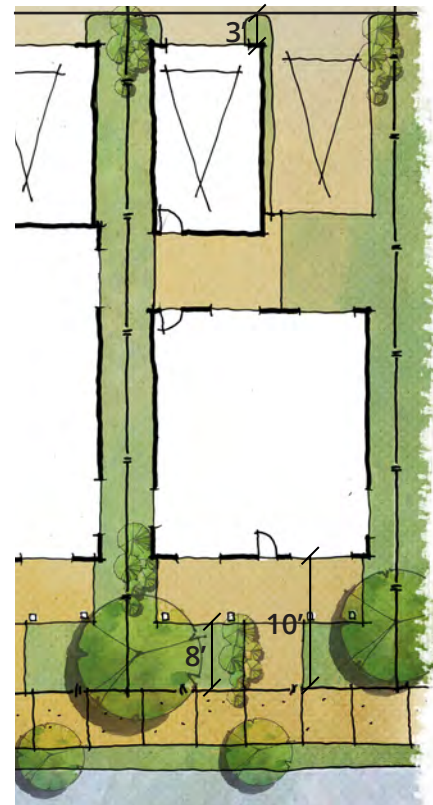
Table 3-5 includes development standards to guide development of Small-Lot Alley Loaded homes.

Table 3-5: Small Lot Alley Loaded Development Standards

Development Standards	
LAND USE	
Zone	NG-1
Allowable Uses	See Table 3-2
LOT REQUIREMENTS	
Lot Area	2,400 sf minimum (Lot Area may vary up to 10% on irregular shaped lots)
Lot Width	30' minimum
Lot Depth	80' minimum
Lot Coverage	75% maximum
BUILDING HEIGHT	
Building Height	35' maximum
SETBACKS	
Street Front	10' minimum
Porch	8' minimum. Minimum porch dimension shall be six (6) feet.
Garage (alley loaded)	0' minimum to side; 3' minimum to side street; 0' minimum to rear
Side Interior Lot	0' minimum. Detached buildings are subject to building code separation requirements.
Street Side Corner Lot	5' minimum
Rear	3' minimum
OTHER	
Automobile Parking	2 spaces per unit. At least one parking space shall be covered.
Bicycle Parking	See SLOMC Section 17.16.060
Private Yard	At least one (1) private side or rear yard shall be provided at a minimum of 100 sf with a minimum dimension of 8'.
Landscaping	Street setback area shall be landscaped prior to occupancy. One 15 gallon (minimum) production tree shall be planted per unit. Turf is prohibited within the street yard area.
Exterior Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050



Small Lot Alley Loaded product type



Small Lot Alley Loaded site plan

3.4.2. Small Lot Alley Loaded Design Guidelines

The following design guidelines apply to Small Lot Alley Loaded residential homes within San Luis Ranch.

Building Form

- A. A variety of architectural details, elevations, and setbacks create visual interest to homes. Designs for Small Lot Alley Loaded units should not be repeated more frequently than every fourth house.
- B. Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme should be used to complement the overall building design, site, and neighborhood context.
- C. Building facades should incorporate various setbacks and utilize different materials to minimize singular wall planes.
- D. Designs should be oriented to incorporate a relationship between indoor and outdoor spaces.
- E. Articulation along alleys should create visual interest through variation in garage and building massing.



This home incorporates elevation setbacks, porches, chimneys, and siding

Setback Variations

- A. In order to improve the visual quality of the streetscape, every third house should include a variation to the front yard setback.
- B. Setback variations should not be less than twenty percent (20%) of the standard minimum front yard setback (e.g., a front yard setback of ten [10] feet would increase an offset of two [2] feet). An offset may be an increase or decrease in setback, as long as the minimum setback is met.



A variety of different architectural features were used on these neighboring homes

Privacy

- A. Windows adjacent to a neighboring home should be offset to prevent direct views into neighbor's windows, with specific attention paid to second story windows that look down into first floor windows on adjacent properties.
- B. Balconies and decks should avoid direct sight lines to neighbor's windows or livable outdoor areas. Balconies or decks located on a second story should be recessed or enclosed.



Setback variation improves the visual quality of the streetscape

Roofs

- A. A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into house designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.
- B. Roof tiles and colors consistent with the architectural style of the house should be incorporated to enhance the diversity and character of the community. Roofing colors should be soft earth tones to minimize reflective glare and visual impacts.
- C. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. Vents should be painted to match the roof color.



Varying roof planes, pitches and accent details enhance the design of this house



Accent trim such as sills and shutters make this house authentic to its architectural style



This seating porch enhances the home's front exterior



Detailed garage doors were used in these alley loaded garages



A variety of trees and native plants were used on these homes

Windows and Doors

- A. Entries should be enhanced to reflect the architectural style and details of the building.
- B. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.
- C. Windows, garage windows, and doors should complement the architectural style of the building.

Porches

- A. Porches should have a minimum depth of six (6) feet and should accommodate a small seating area for chairs or a bench.
- B. Homes located on corner lots should have porches that wraparound and address both the primary and secondary building frontages.

Private Yard Areas

- A. Private Yard Areas may include balconies, terraces, patios, roof decks, and/or side and rear yards.
- B. Small Lot Alley Loaded houses should have at least one usable private yard area. Multiple usable outdoor areas (i.e. front, side, and/or rear) are preferable and encouraged where possible.
- C. Side yards utilized as private yard areas should be integrated into the floor plan of the house to emphasize indoor/outdoor living opportunities.

Garages

- A. Corner, detached alley-loaded garages may be used on corner lots if the garage is consistent with the architectural style of the building and addresses the streetscape.
- B. Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.

Landscaping

- A. Landscaping should be comprised of edible, drought-tolerant, or native plant and tree varieties.
- B. All landscape plans should be reviewed by a licensed landscape architect.

Neighborhood General Two (NG-2) SPECIFIC PLAN ZONE

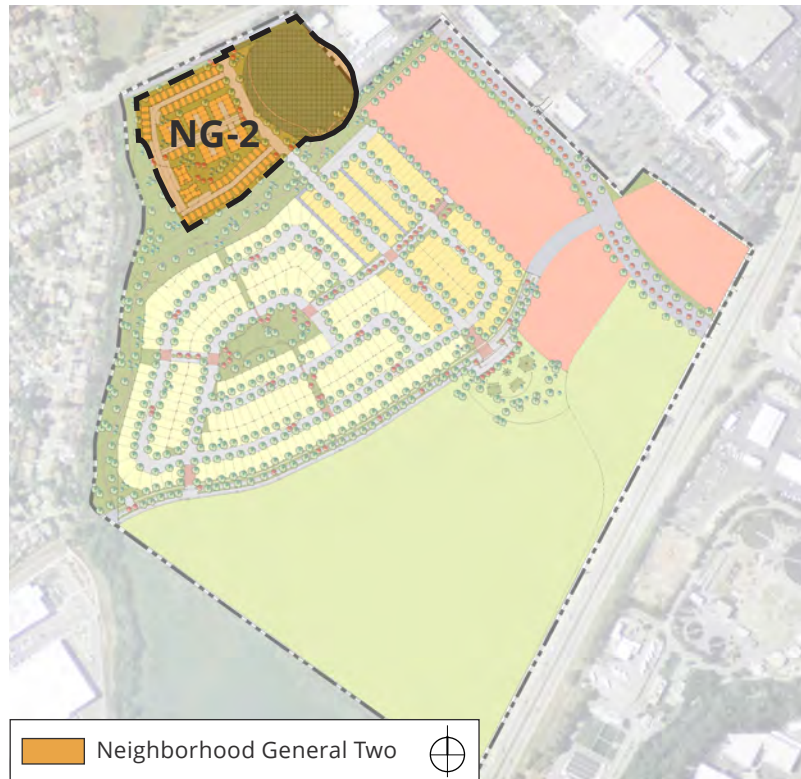


Table 3-6: NG-2 Allowable Uses

Neighborhood General - Two (NG-2)		
LAND USE	PERMIT REQUIREMENTS	USE REGULATION
Attached Townhome dwelling	A	See Section 3.6 herein
Caretaker quarters	A	
Club, lodge, private meeting hall	D	
Community Gardens	D	
Day care - Family day care home (small/large)	A	
Detached Townhome dwelling	A	See Section 3.5 herein
Fitness/health facility	D	
Home occupation	Home Occ Permit	17.08.090
Library, museum	D	
Library, branch facility	D	
Live/work unit	A	17.08.130
Mobile home as temporary residence at building site	A	
Multi-Family dwelling	A	See Section 3.7 herein
Outdoor/temporary/seasonal sales	A	
Park, playground	A	
Parking facility	D	
Senior citizen housing development	D	
Transit stop	A	
Work-live units	A	17.08.130

D = Director's Use Permit approval required, PC = Planning Commission Use Permit approval required,
 A = Allowed by right

Figure 3.3 NG-2 Zone Map



Detached Townhome



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.5 Detached Townhome Overview

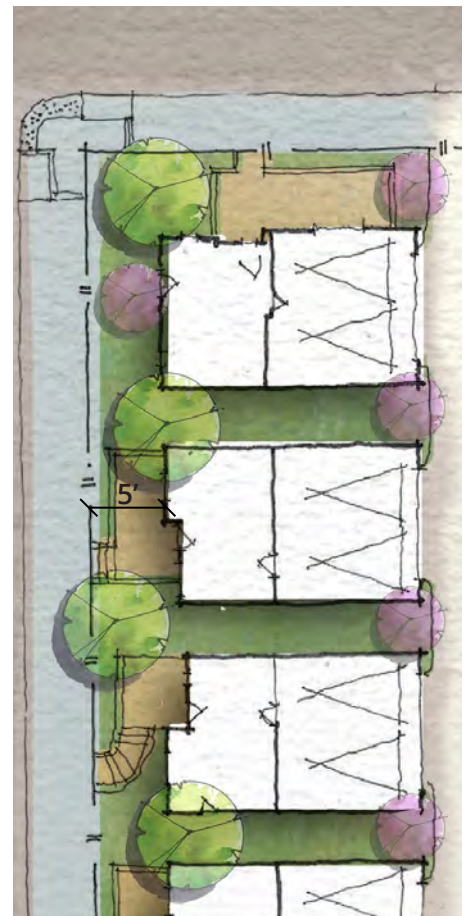
Detached Townhome residential units occur on compact, alley loaded lots that are a minimum of 1,000 sf. This higher-density detached product type provides an urban composition with three-story high units containing optional roof decks. Enhanced articulation of building forms, use of high-quality materials, and integrated balcony spaces contribute to the attractiveness of this product type. Auto access to individual garages within this product type is provided via rear alleys.

3.5.1. Detached Townhome Development Standards

Table 3-7 includes development standards to guide development of Detached Townhomes.



Detached Townhome product type



Detached Townhome site plan

Table 3-7: Detached Townhome Standards

Development Standards	
LAND USE	
Zone	NG-2
Allowable Uses	See Table 3-6
LOT REQUIREMENTS	
Lot Area	1,000 sf minimum
Lot Width	25' minimum
Lot Depth	40' minimum
Lot Coverage	100% maximum
BUILDING HEIGHT	
Building Height	50' maximum
SETBACKS	
Street Front	5' minimum
Terrace/Patio/Porch	5' minimum. Minimum dimension shall be six (6) feet.
Garage (alley loaded)	0' minimum to side; 3' minimum to side street; 0' minimum to rear
Side Interior Lot	0' minimum. Detached buildings are subject to building code separation requirements.
Street Side Corner Lot	10' minimum
Rear	5' minimum
OTHER	
Automobile Parking	2 spaces per unit. At least one parking space shall be covered.
Bicycle Parking	See SLOMC Section 17.16.060
Private Yard	At least one (1) private side or rear yard shall be provided at a minimum of 100 sf with a minimum dimension of 8'.
Landscaping	Street setback area shall be landscaped prior to occupancy. One 15 gallon (minimum) production tree shall be planted per unit. Turf is prohibited within the street yard area.
Exterior Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050

3.5.2. Detached Townhome Design Guidelines

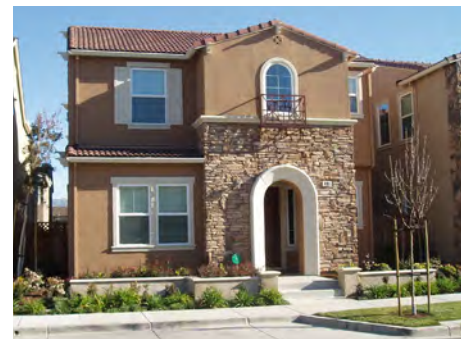
The following design guidelines apply to Detached Townhomes within San Luis Ranch.

Building Form

- A. A variety of architectural details, elevations, and setbacks create visual interest to homes. Designs for Detached Townhome units should not be repeated more frequently than every fourth house.
- B. Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme should be used to complement the overall building design, site, and neighborhood context.
- C. Building facades should incorporate various setbacks and utilize different materials to minimize singular wall planes.
- D. Designs should be oriented to incorporate a relationship between indoor and outdoor spaces.
- E. Articulation along alleys should create visual interest through variation in garage and building massing.



Varying architectural features such as porches and dormers enhance these homes



A variety of different materials and wall planes complement this house

Privacy

- A. Windows adjacent to a neighboring home should be offset to prevent direct views into neighbor's windows, with specific attention paid to second story windows that look down into first floor windows on adjacent properties.
- B. Balconies and decks should avoid direct sight lines to neighbor's windows or livable outdoor areas. Balconies or decks located on a second story should be recessed or enclosed.

Roofs

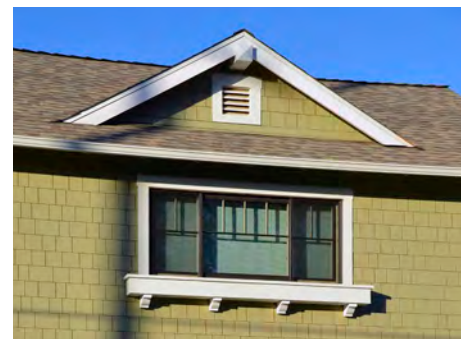
- A. A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into house designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.
- B. Roof tiles and colors consistent with the architectural style of the house should be incorporated to enhance the diversity and character of the community. Roofing colors should be soft earth tones to minimize reflective glare and visual impacts.
- C. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. Vents should be painted to match the roof color.



Varying roof planes, overhangs, and accent details increase visual quality

Windows and Doors

- A. Entries should be enhanced to reflect the architectural style and details of the building.



Vents were painted to match the trim which help enhance the visual quality



Window accent trim such as shutters and balconies enhance the style of this building



Private patios were integrated into the design of these units



Garage doors were recessed and alley loaded to minimize visual impact



Drought- tolerant plants were used on this home's landscaping

- B. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.
- C. Windows, garage windows, and doors should complement the architectural style of the building.

Terraces, Patios, and Porches

- A. Terraces, Patios, and Porches should have a minimum depth of six (6) feet and should accommodate a small seating area for chairs or a bench.
- B. Homes located on corner lots should have terraces, patios, and/or porches that wraparound and address both the primary and secondary building frontages.

Private Yard Areas

- A. Private Yard Areas may include balconies, terraces, patios, roof decks, and/or side and rear yards.
- B. Detached Townhomes should have at least one usable private yard area. Multiple usable outdoor areas (i.e. front, side, and/or rear) are preferable and encouraged where possible.
- C. Side yards utilized as private yard areas should be integrated into the floor plan of the house to emphasize indoor/outdoor living opportunities.
- D. In order to take advantage of surrounding views, roof decks are encouraged for units where other private yard areas may be limited.

Garages

- A. Garages should be recessed from the property's rear yard setback to minimize the visual impact of the garage door and parking apron along the alley.
- B. Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.

Landscaping

- A. Landscaping should be comprised of edible, drought-tolerant, or native plant and tree varieties.
- B. All landscape plans should be reviewed by a licensed landscape architect.

Attached Townhome



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.6 Attached Townhome Overview

Attached Townhome residential units are constructed with a variety of facades on the same building to distinguish units in rows, blocks, or clusters that are a minimum of 1,000 sf. This higher-density attached product type provides an urban composition with three-story high units containing optional roof decks. Enhanced articulation of building forms, use of high-quality materials, and integrated balcony spaces contribute to the attractiveness of this product type. Auto access to individual garages within this product type is provided via rear alleys or a private shared driveway or autocourt.

3.6.1. Attached Townhome Development Standards

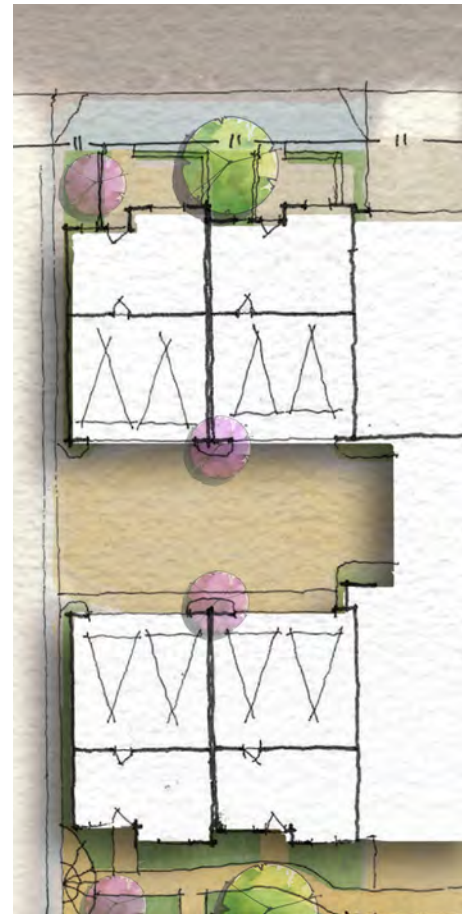
Table 3-8 includes development standards to guide development of Attached Townhomes.



Attached Townhome product type

Table 3-8: Attached Townhome Standards

Development Standards	
LAND USE	
Zone	NG-2
Allowable Uses	See Table 3-6
LOT REQUIREMENTS	
Lot Area	1,000 sf minimum
Lot Width	20' minimum
Lot Depth	40' minimum
Lot Coverage	60% maximum
BUILDING HEIGHT	
Building Height	50' maximum
SETBACKS	
Street Front	5' minimum
Terrace/Patio/Porch	5' minimum. Minimum dimension shall be six (6) feet.
Garage (alley loaded)	0' minimum to side; 3' minimum to side street; 0' minimum to rear
Side Interior Lot	0' minimum
Street Side Corner Lot	10' minimum
Rear	5' minimum
OTHER	
Automobile Parking	2 spaces per unit. At least one parking space shall be covered.
Bicycle Parking	See SLOMC Section 17.16.060
Private Outdoor Space	At least one (1) private outdoor space or rear yard shall be provided at a minimum of 100 sf with a minimum dimension of 8'.
Landscaping	Street setback area shall be landscaped prior to occupancy. One 15 gallon (minimum) production tree shall be planted per unit. Turf is prohibited within the street yard area.
Exterior Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050



Attached Townhome site plan

3.6.2. Attached Townhome Design Guidelines

The following design guidelines apply to Attached Townhomes within San Luis Ranch.

Building Form

- A. A variety of architectural details, elevations, and setbacks create visual interest to homes. Designs for Attached Townhome units should not be repeated more frequently than every fourth house.
- B. Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme should be used to complement the overall building design, site, and neighborhood context.
- C. Building facades should incorporate various setbacks and utilize different materials to minimize singular wall planes.
- D. Designs should be oriented to incorporate a relationship between indoor and outdoor spaces.
- E. Articulation along alleys should create visual interest through variation in garage and building massing.



Varying elevations, setbacks and materials were used to create visual interest



Roof accent details and varying pitches increase the visual quality of this home

Privacy

- A. Windows adjacent to a neighboring home should be offset to prevent direct views into neighbor's windows, with specific attention paid to second story windows that look down into first floor windows on adjacent properties.
- B. Balconies and decks should avoid direct sight lines to neighbor's windows or livable outdoor areas. Balconies or decks located on a second story should be recessed or enclosed.



Offset balconies and decks prevent direct views into the neighboring windows

Roofs

- A. A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into house designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.
- B. Roof tiles and colors consistent with the architectural style of the house should be incorporated to enhance the diversity and character of the community. Roofing colors should be soft earth tones to minimize reflective glare and visual impacts.
- C. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. Vents should be painted to match the roof color.



Window details reflect the architectural style of this home

Windows and Doors

- A. Entries should be enhanced to reflect the architectural style and details of the building.
- B. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.



Garage windows complement the architectural style of this building

- C. Windows, garage windows, and doors should complement the architectural style of the building.

Terraces, Patios, and Porches

- A. Terraces, Patios, and Porches should have a minimum depth of six (6) feet and should accommodate a small seating area for chairs or a bench.
- B. Homes located on corner lots should have terraces, patios, and/or porches that wraparound and address both the primary and secondary building frontages.

Private Yard Areas

- A. Private Yard Areas include balconies, terraces, patios, roof decks, and/or side and rear yards.
- B. Attached Townhomes should have at least one usable private yard area.
- C. Side yards utilized as private yard areas should be integrated into the floor plan of the house to emphasize indoor/outdoor living opportunities.
- D. In order to take advantage of surrounding views, roof decks are strongly encouraged for units where other private yard area may be limited.



Use of private patios were used on this project to emphasize indoor /outdoor living

Garages

- A. Garages should be recessed from the property's rear yard setback to minimize the visual impact of the garage door and parking apron along the alley.
- B. Corner, detached alley-loaded garages may be used on corner lots if the garage is consistent with the architectural style of the building and addresses the streetscape.
- C. Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.



Alley loaded , recessed garage doors with architectural detail enhance this project

Landscaping

- A. Landscaping should be comprised of edible, drought-tolerant, or native plant and tree varieties.
- B. All landscape plans should be reviewed by a licensed landscape architect.



A blend of turf, drought-tolerant, and native plants comprised this landscaping

Multi-Family



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.7 Multi-Family Overview

Multi-family residential units may be comprised of apartments, condos, and/or flats. This product type is oriented towards a variety of age and income demographics and provides ease of access to nearby park and open space areas. Use of high-quality materials, enhanced building form articulation, and integrated balcony spaces contribute to the attractiveness of this product type. Parking for residential units are integrated into the site while minimizing visibility from the street.

3.7.1. Multi-Family Development Standards

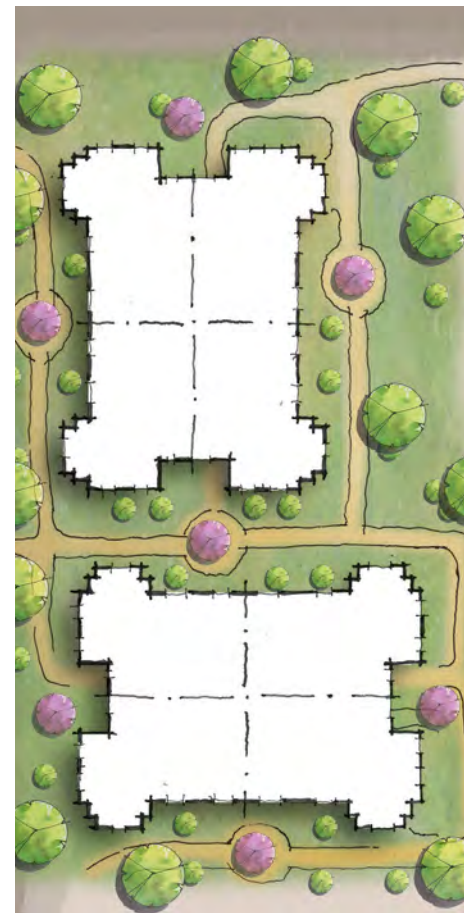
Table 3-9 includes development standards to guide development of multi-family residential units.

Table 3-9: Multi-Family Standards

Development Standards	
LAND USE	
Zone	NG-2
Allowable Uses	See Table 3-6
LOT REQUIREMENTS	
Lot Area	1,000 sf minimum
Lot Width	25' minimum
Lot Depth	40' minimum
Lot Coverage	100% maximum
BUILDING HEIGHT	
Building Height	50' maximum
SETBACKS	
Street Front	5' minimum
Terrace/Patio/Porch	5' minimum. Minimum dimension shall be six (6) feet.
Side Lot	0' minimum
Rear	5' minimum
OTHER	
Automobile Parking	1 space per unit. 0.25 guest space per unit. Required residential parking shall not be visible from a public street.
Bicycle Parking	See SLOMC Section 17.16.060
Outdoor Space	A minimum of 100 square feet of private yard space shall be provided for first floor units. A minimum of 50 square feet of private outdoor space shall be provided for upper floor units. A minimum of 400 square feet of community open space shall be provided per unit.
Exterior Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050



Multi-Family product type



Multi-Family site plan

3.7.2. Multi-Family Design Guidelines

The following design guidelines apply to Multi-Family residential units within San Luis Ranch.

Building Form

- A. Attached residential units should be designed and detailed to correlate with neighboring single-family detached and/or attached homes. The architecture should incorporate the best features of the neighboring units.
- B. Architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme should be used to complement the overall building design, site, and neighborhood context.
- C. Building facades should incorporate various setbacks and utilize different materials to minimize singular wall planes.
- D. Designs should be oriented to incorporate a relationship between indoor and outdoor spaces.



Balconies and wood detailing complement this building's visual quality

Privacy

- A. Windows adjacent to a neighboring home should be offset to prevent direct views into neighbor's windows, with specific attention paid to second story windows that look down into first floor windows on adjacent properties.
- B. Balconies and decks should avoid direct sight lines to neighbor's windows or livable outdoor areas. Balconies or decks located above the first story should be recessed or enclosed on three (3) sides.



Varying wall planes and building materials create visual interest

Roofs

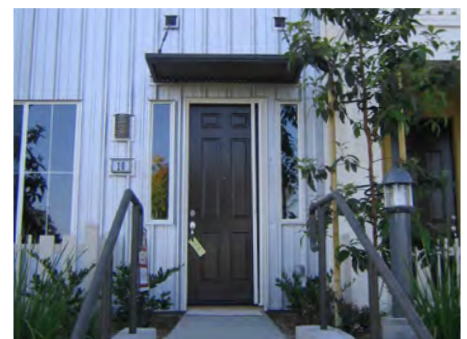
- A. A variety of roof planes and pitches, porches, overhangs, and accent details should be incorporated into multi-family designs to increase the visual quality and character of a building, while reducing the bulk and size of the structure.
- B. Roof tiles and colors consistent with the architectural style of the multi-family units should be incorporated to enhance the diversity and character of the community. Roofing colors should be soft earth tones to minimize reflective glare and visual impacts.
- C. Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. Vents should be painted to match the roof color.



The use of a variety of roof pitches increases the visual quality of this home

Windows and Doors

- A. Entries should be enhanced to reflect the architectural style and details of the building.
- B. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.
- C. Windows, garage windows, and doors should complement the



Details on the entry on the home reflect its architectural style



Terraces with seating areas were incorporated to increase visual interest



Garage entries were orientated away from street frontages to reduce visual impact



This accessory structure used compatible building materials to match the project



Native landscaping and varying trees comprised this project's landscaping

architectural style of the building.

Terraces, Patios, and Porches

- A. Terraces, Patios, and Porches should have a minimum depth of six (6) feet and should accommodate a small seating area for chairs or a bench.
- B. Units located on corner lots should have terraces, patios, and/or porches that wraparound and address both the primary and secondary building frontages.

Private Yard Areas

- A. Multi-family units should provide multiple usable outdoor areas where feasible.
- B. Functional and usable outdoor porches, patios, courtyards, roof decks, and/or other areas for the use of all building residents are encouraged for multi-family buildings.

Garages/Carports

- A. Garage entries, carports, and parking areas should be internalized in building groups or oriented away from street frontages to minimize visual impact on the street where practical.
- B. Garage doors should incorporate architectural detailing that is consistent with the overall architectural style of the building.

Accessory Structures

- A. Community accessory structures, including garages, carports, grouped mailboxes, storage and maintenance facilities, recreational facilities, picnic shelters, and outdoor shade structures, should incorporate compatible materials, scale, colors, architectural details, and roof slopes as the primary multi-family building or buildings they serve.
- B. Rear or end walls of detached garages and carports that face a perimeter street should be screened with landscaping and articulated through the use of trellises or attached arbors, windows, or variation in wall or roof planes.
- C. Trash enclosure and recycling storage areas should be located in convenient areas with reduced visual prominence, such as inside parking courts or at the end of parking bays. Lighted access that meets applicable accessibility standards should be incorporated.

Landscaping

- A. Landscaping should be comprised of edible, drought-tolerant, or native plant and tree varieties.
- B. All landscape plans should be reviewed by a licensed landscape architect.

Neighborhood Commercial (NC) SPECIFIC PLAN ZONE



Table 3-10: NC Allowable Uses

Neighborhood Commercial - (NC)		
LAND USE	PERMIT REQUIREMENTS	USE REGULATION
Antennas and telecommunications facilities	D	17.16.120
Bar/tavern	D	
Bed and Breakfast inn	A	
Building and landscape materials, sales, indoor/ outdoor	D	
Caretaker quarters	A	
Catering service	D	
Club, lodge, private meeting hall	A	
Commercial recreation facility - Indoor	A	17.08.060
Commercial recreation facility - Outdoor	D	
Community Gardens	D	
Copying and quick printer service	A	
Convenience store	A	17.08.095
Day care - Day care center (child/adult)	A	17.08.100
Day care - Family day care home (small/large)	A	17.08.100
Educational conference	D	17.08.010(c)(6)
Extended hour retail	D	
Fitness/health facility	A	
General retail - 15,000 sf or less	A	
General retail - more than 15,000 sf up to 60,000 sf	D	
General retail - more than 60,000 sf up to 140,000 sf	PC	
Home occupation	Home Occ Permit	17.08.090
Hotel, motel	A	
Library, museum	D	
Library, branch facility	D	
Liquor store/alcohol sales	D	17.11, 17.100.180
Live/work units	A	17.08.130
Medical service - doctor office	A	
Medical service - clinic, laboratory, urgent care	A	
Mobile home as temporary residence at building site	A	
Multi-family dwelling	A	17.22.010(G)
Night club	PC	17.95
Outdoor/temporary/ seasonal sales	A	17.08.020
Park, playground	A	
Parking facility	D (3)	
Parking facility - multilevel	D (3)	17.95
Parking facility - temporary	D	
Personal services	A	
Personal services - restricted	PC	
Produce stand	A	
Public assembly facility	D	
Public safety facilities	A	
Recreational vehicle (RV) park accessory to hotel, motel	PC	

Table 3:10: NC Allowable Uses *continued*

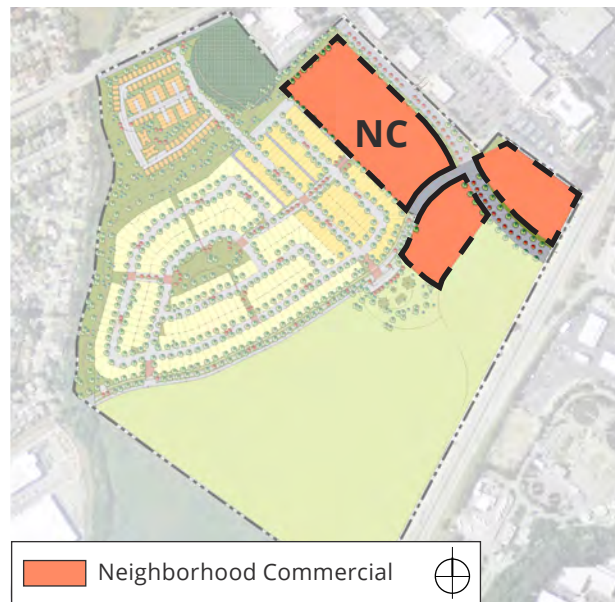
Recycling facilities - small collection facility	D	
Religious facility	PC	
Residential care facilities - 7 or more residents	PC	
Residential support services	A (2)	
Rest Home	PC	
Restaurant	A	
Safe parking (1)	PC	17.08.115
School - Specialized education/training	D	
Service station	D	18.08.030
Social services organization	A	
Special Event	D	17.08.010
Sports and active recreation facility	PC	
Studio - Art, dance, martial arts, music, etc.	A	
Theater	D	17.95
Transit stop	A	
Vehicle services - car wash	D	
Veterinary clinic/hospital, boarding, small animal indoor	A	
Wine/cider/beer tasting room or distillation facility	D	

D = Director’s Use Permit approval required, PC = Planning Commission Use Permit approval required, A = Allowed by right

Notes:

1. Safe parking is only allowed to a public assembly use, such as a club, lodge, private meeting hall, or religious facility. Safe parking is prohibited on properties where residential uses are the primary use.
2. Behind ground floor use only. Allowed as a ground floor use with Administrative Use Permit.
3. Parking as a Principal Use. Use permit approval may include deviations to otherwise applicable setback requirements and building height limits. A multi-level parking facility will require the approval of a use permit by the planning commission.

Figure 3.4 NC Zone Map



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Commercial, Office, Hotel



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.8 Commercial, Office, Hotel Overview

Commercial areas within San Luis Ranch include restaurant, retail, office, hotel, and other complementary land uses. The variety of uses and enhanced pedestrian orientation creates a friendly, welcoming neighborhood center serving the adjacent residential neighborhoods while at the same time providing a wide-range of regional services for Central Coast residents and visitors. Use of high-quality materials, enhanced articulation of building forms, and consistent architectural styles contribute to the connection between commercial and adjacent residential neighborhoods. An integrated transit hub within the commercial area provides convenient access to local and regional transit services for both residents and visitors.

3.8.1. Commercial Development Standards

Table 3-11 includes development standards to guide development of Commercial, Office, and Hotel (NC) designated areas.



Enhanced pedestrian orientation create friendly neighborhood centers



A variety of uses will provide a wide-range of regional services for Central Coast residents

Table 3-11: Commercial, Office, Hotel Standards

Development Standards	
LAND USE	
Zone	NC
Allowable Uses	See Table 3-10
LOT REQUIREMENTS	
Lot Coverage	80% maximum
BUILDING ORIENTATION	
Orientation	Buildings shall be oriented toward the street.
BUILDING HEIGHT	
Building Height	20' minimum; 50' maximum
SETBACKS	
Street Front	5' minimum
Side Interior Lot	0' minimum
Street Side Corner Lot	0' minimum
Parking	15' minimum (Setback shall be landscaped when located adjacent to public street.)
Rear	10' minimum; 25' minimum when adjacent to residential uses.
OTHER	
Automobile Parking	<ul style="list-style-type: none"> A. Retail Sales (all types) 1 space per 500 sf B. Grocery, specialty food: 1 space per 500 sf C. Bar/Tavern: see SLOMC Section 17.16.060 Table 6 D. Office: 1 space per 400 sf E. Hotel: 1 space per room; 1 space per manager quarters F. Multi-family: 1 space per unit Guest Parking: 0.25 space per unit
Bicycle Parking	See SLOMC Section 17.16.060
Landscaping	<p>20% minimum lot area. Up to 1/3 of the required landscape area may be hardscape or plaza. Parking is not permitted within this area. 10% of landscape requirement can be met through use of pervious paving.</p> <p>A minimum 6' wide landscape area as measured perpendicularly from the building shall be provided around the perimeter of the building where visible from a public street. Loading zones, building entrances, and street setbacks areas excluded. A minimum 10' landscape buffer shall be provided adjacent to residential uses.</p>
Architectural Lighting	<p>All upward-aimed light shall be fully shielded, fully confined from projecting into the sky by eaves, roofs, or overhangs, and mounted as flush to a wall as possible.</p> <p>Building facade lighting shall be fully shielded, aimed downward, and mounted as flush to a wall as possible.</p>
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050
Building Facades	<ul style="list-style-type: none"> A. No building facade visible from a public street shall extend more than 30' in length without a 2' minimum variation in the wall plane. B. Buildings shall be designed to meet the intent of the design guidelines in Section 3.8.2.
Transit Center	A transit hub containing benches, covered awnings, and signage designed in the architectural style of adjacent buildings shall be provided along the Commercial project frontage near the Dalidio Road and Froom Ranch Way intersection. Applicant shall coordinate with SLO Transit and SLORTA for final placement and design detailing.

3.8.2. Commercial, Office, Hotel Design Guidelines

The following design guidelines apply to Commercial, Office, and Hotel development within San Luis Ranch.



Outdoor plaza spaces with water features help to establish a sense of place



Building should be aesthetically pleasing from all angles



The use of towers accent horizontal massing and provide visual interest



Change in building materials, pop-outs, and columns create shadow patterns and depth

Site Planning and Design

- A. Buildings should be sited close to and oriented toward external and interior streets. Building design should incorporate pedestrian walkways, outdoor seating, and landscape areas where possible.
- B. Outdoor spaces should reflect careful planning and provide plaza spaces with defined edges, benches, and lighting that establish a sense of place.
- C. Plazas, courtyards, pocket parks, and outdoor cafes should be designed in an inviting manner that encourages pedestrian use through the incorporation of trellises, fountains, art, seating, and shade trees.
- D. Public art is encouraged as an on-site amenity for all projects.

Building Form

- A. 360-Degree architecture is the concept of designing a building where all sides of the building have been detailed to complement the primary street elevation in architecture, massing, and materials. Buildings should be aesthetically pleasing from all angles, especially for buildings that have high visibility.
- B. Roofs covering the entire building such as hips and gables, are preferred over mansard roofs.
- C. The appearance of several smaller buildings, rather than one large building is preferred to foster a more intimate, pedestrian-friendly scale. Vertical elements such as pilasters help create bays to give the appearance of several smaller buildings.
- D. Vertical elements such as towers can be used to accent horizontal massing and provide visual interest, especially on corner buildings.

Building Elements and Articulation

- A. Human scale should be created through the use of awnings, arches, walls, trellises, arbors, pergolas, and other architectural elements. These elements should be integrated into the building design to avoid the look of “tacked on” architectural features.
- B. Storefront windows, display cases, and other elements that provide visual interest to facades should be provided.
- C. Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, and recessed areas should be used to create shadow patterns and depth on the wall surfaces.
- D. Building materials and finishes should be true to the structure’s architectural style.
- E. Building facades facing paseos should be articulated with detail and display windows.
- F. Murals, trellises, or vines should be placed on large expanses of walls

at the rear or sides of buildings to soften the appearance and create visual interest.

Commercial Plazas

- A. Specialized, defined, public outdoor spaces should be incorporated into the overall building and project design. These outdoor spaces should have clear, recognizable shapes that reflect careful planning and should not be a result of “leftover” areas between structures.
- B. Site amenities, including benches, drinking fountains, provisions for bicyclists, water features, and public art, should be utilized and should complement the project’s architectural character.
- C. Pedestrian links should be provided between buildings on the same site, public open spaces, and parking areas and should be visually emphasized through the use of landscaping or trellis features, lighting, walls, and/or distinctive paving. Pedestrian links should be consistent with Title 24 California Code of Regulations accessibility requirements.



Defined outdoor plazas enhance the pedestrian experience

Sidewalk Cafes

- A. Sidewalk cafe areas should be screened with semi-permanent decorative screens, walls, or planters. Screens can be solid or semi-solid and should be consistent with building facade design and/or restaurant theme.
- B. Screen layout needs to enclose the entire outdoor cafe area, leaving required exit width accommodations for occupancy of facility.
- C. Tables and chairs can be of varying type, but those designed for exterior use are recommended. Plastic chairs are prohibited. Tabletop sunshades, pole shades, and sunscreens are recommended.



Public seating should be used to complement the project’s character

Lighting

- A. Lighting should be designed to provide ambiance, safety, and security without unnecessary spillover or glare onto adjacent properties.
- B. The quality of light, level of light as measured in foot-candles, and the type of bulb or source should be carefully addressed. Lighting levels should not be so intense as to draw attention to the flow or glare of the project site. The lighting plan should incorporate current energy-efficient fixtures and technology.
- C. Building light fixtures should be designed or selected to be architecturally compatible with the main structure, which should complement the theme of the surrounding area.
- D. Accent lighting that is downlit and focused on key architectural elements and trees can be effective and attractive; however, light sources should be screened from view.



Sidewalk cafes should be screened with decorative walls or planters



Light fixtures should be architecturally compatible to the building’s style



Signs reflect the type of business through design and shape



This sign was constructed to reflect a high quality of craftsmanship



The use of brick complements the architectural style of this building



Plant material was used to screen this trash from public view

- E. Pedestrian areas, paseos, sidewalks, and building entrances should be adequately lit to provide safety and security.

Signs

- A. Signs should be in scale with and in proportion to the primary building facade so that the signs do not dominate the appearance.
- B. Signs that reflect the type of business through design, shape, or graphic form are encouraged.
- C. The method of attaching the sign to the building should be integrated into the overall sign design.
- D. Signs should not cover up windows or important architectural features.
- E. Where several tenants occupy the same site or building, individual wall-mounted signs should be used in combination with a monument sign identifying the development and address.
- F. Flush mounted signs should be positioned within architectural features such as the window panel above the storefront or flanking the doorway.
- G. Project architect should be consulted when preparing a signage program to ensure consistency with the project architecture and character.
- H. Sign construction should reflect a high level of craftsmanship.

Building Materials

- A. Building materials should consist of materials commonly associated with the architectural style of the building. Highly reflective or tinted glass, imitation stone or brick, corrugated fiberglass, plastic roof tiles, and undecorated concrete block should be avoided.
- B. Smooth plaster finishes are preferred over rough, textured stucco. Stucco may be used in combination with other materials such as siding and brick. Stucco should be primarily used for side and back walls that are not as visible from public view; with the richer materials used on the front or to accent architectural features.

Exterior Colors

- A. Exterior colors should be consistent with the architectural style of the building. Color schemes that involve a minimum of three (3) colors should be utilized.
- B. Different colors accentuating different aspects and details of the building architecture should be utilized. Except for accenting different aspects and details of a building, bright colors should be avoided.
- C. Certain materials, such as stone and brick, have distinct coloring in

their natural state and should be thought of as an element of the color palette used. These materials should not be painted.

Utilitarian Aspects of Buildings

- A. Outdoor storage areas, including trash and recycling, should be located to the rear or sides of a building and should be screened from public view with walls, berms, or landscaping.
- B. All mechanical equipment on the roof or ground, including air conditioners and heaters, should be screened from public view. Screening elements should be architecturally compatible in color, shape, size, and material with the primary building and should be carefully integrated into the overall building design.
- C. Utility service areas, such as electrical panels, should be placed within enclosures that are architecturally integrated into the building design.
- D. Trash enclosures and loading areas should be designed using similar materials and colors as the surrounding buildings within the project and must be screened with landscaping or wall materials and sited where least visible to the public.
- E. Trash enclosures should be combined among buildings where possible and should be large enough to handle the refuse generated by the users and accessible for service vehicles.
- F. A pedestrian entrance to the trash enclosure should be provided so the large access gates do not have to be opened as often.
- G. Sheet metal vents, pipe stacks, and flashing should be painted to match the adjacent roof or wall material.
- H. Gutters and downspouts on the exterior of the building should be decorative or designed to integrate with the building facade.
- I. Roof access should be provided from the interior of the building. Exterior roof access ladders should be avoided if possible.

Parking Lot Design and Screening

- A. Parking should be located at the rear of buildings, where feasible.
- B. Large areas of parking should be avoided. It is preferable to create small, connected parking lots utilizing shared driveways, pedestrian connections, and landscape buffers.
- C. Parking lots should provide areas for bicycle and motorcycle parking and are encouraged to incorporate electrical vehicle charging stations.
- D. Decorative landscaping and lighting will enhance parking areas and reduce the visual impact. Shade trees and lampposts reflecting the desired architectural style of the project should be provided.
- E. Parking areas abutting a public sidewalk or street should provide a landscaped stop or planter that includes a combination of trees and



Plant material was used to screen this mechanical equipment from view



This trash enclosure was design to match the architectural style of the project



Decorative landscaping was used to enhance this parking lot



Bicycle parking was provided in a convenient place out of pedestrian's way



Bike parking should be conveniently located and not conflict with pedestrians



Landscaping should be comprised of edible, native, and drought-tolerant plants



Parking areas should be screened as much as possible from public streets

shrubs.

- F. Patterns and colors should be installed in paving treatments using tile, brick, or textured concrete in order to provide clear identification of pedestrian access points into buildings and to highlight parking features.

Bicycle and Pedestrian Circulation

- A. All development within the Commercial area of San Luis Ranch should provide bicycle parking per the City of San Luis Obispo's standards.
- B. Bicycles parking should be conveniently located, but should not conflict with pedestrian or auto circulation. Parking areas can be combined and placed in locations that do not conflict with stores and pedestrian circulation.
- C. All buildings within the Commercial area of San Luis Ranch should provide paved access to the stores from adjacent walks along parkways and streets. This hard surface accessway shall have minimal number of conflicts with interior auto circulation and meet all accessibility codes and requirements.

Project Landscape and Hardscape

- A. Landscaping should be comprised of edible, production, drought-tolerant, or native plant and tree varieties.
- B. Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- C. Trees should be selected based on performance basis with the objective of producing fruit, minimizing water use, providing shade, minimizing hazardous litter, minimizing root intrusion, and providing color and contrast.
- A. Vines and potted plants should be incorporated to provide wall, column, and post texture and color, as well as for accentuating entryways, courtyards, and sidewalks.
- B. Plantings should be used to screen or separate less desirable areas from public view, such as trash enclosures, parking areas, storage areas, loading areas, and public utilities.

Screen Walls and Fences

- A. Where serving as a visual or noise barrier for enclosure of storage areas, open work areas, or refuse collection areas, wall and fence heights and materials should be sufficient to ensure that adjacent properties and public streets are protected from visual or noise impacts.
- B. Parking areas should be screen as much as possible from outside streets. This can be accomplished through the use of low walls, hedges, berms and grade changes. This screening does not need to obscure sight lines to commercial structures.

Parks and Open Space (P-OS) **SPECIFIC PLAN ZONE**



Table 3-12: P-OS Allowable Uses

Parks/Open Space (P-OS)		
LAND USE	PERMIT REQUIREMENTS	USE REGULATION
Community gardens	A	
Park, playground	A	
Special event	D	17.08.010
Sports and active recreation facility	PC	
Outdoor/temporary/seasonal sales	A	
Transit stop	A	

D = Director's Use Permit approval required, PC = Planning Commission Use Permit approval required, A = Allowed by right

Figure 3.5 P-OS Zone Map



Agriculture (A)

SPECIFIC PLAN ZONE

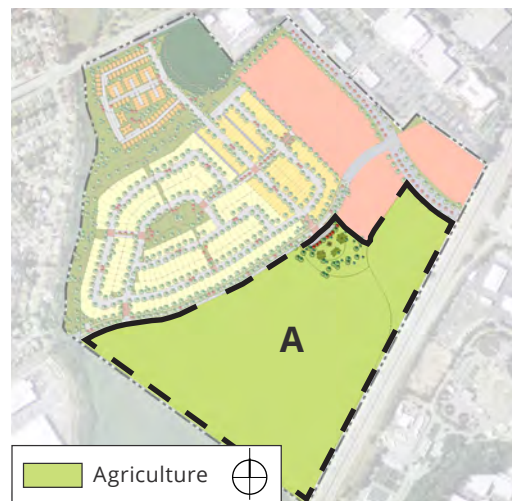


Table 3-13: A Allowable Uses

Agricultural (A) Allowed Uses		
LAND USE	PERMIT REQUIREMENTS	USE REGULATION
Agricultural events	D	
Agricultural retail sales	D	
Animal keeping	D	
Bar/tavern	D	
Caretaker quarters	A	
Catering service	PC	
Commercial recreation facility - outdoor	D	
Community garden	D	
Crop production and processing	A	
General retail - 15,000 sf or less	D	
Grazing	D	
Greenhouse/plant nursery, commercial	PC	
Library, museums (Heritage Learning Center)	D	
Liquor store/alcohol sales	D	17.11, 17.100.180
Outdoor/BBQ/grill, accessory to restaurant	D	
Outdoor/temporary/seasonal sales	A	17.08.020
Parking facility - temporary	D	
Produce Stand	A	
Public assembly facility	D	
Restaurant	D	
Special event	D	17.08.010
Wine/local beer tasting room	D	

D = Director's Use Permit approval required, PC = Planning Commission Use Permit approval required, A = Allowed by right

Figure 3.6 A Zone Map



Agricultural Heritage & Learning Center



DEVELOPMENT STANDARDS & DESIGN GUIDELINES

3.9 Agricultural Heritage Facilities and Learning Center Overview

The Agricultural Heritage Facilities and Learning Center includes a learning center, market/farm stand, agricultural processing center, food services, and agricultural accessory structures. This community and visitor serving cultural destination will provide a venue for locally grown and produced products, educational and hands-on learning opportunities, and seasonal community gathering spaces. With a major portion of the site remaining in agricultural production, agricultural operations will be supported by an appropriately scaled agricultural processing center and a limited amount of accessory structures. Historic structures identified on-site will be integrated into the site plan design and utilized as part of the Agricultural Heritage Facilities and Learning Center operations.

3.9.1. Agricultural Heritage Facilities and Learning Center Development Standards

Table 3-14 includes development standards to guide development of the Agricultural Heritage Facilities and Learning Center.

Table 3-14: Agricultural Heritage Facilities and Learning Center Standards

Development Standards	
LAND USE	
Zone	A
Allowable Uses	See Table 3-13
DEVELOPMENT POTENTIAL	
Learning Center	3,000 sf maximum
Market/Farm Stand	3,000 sf maximum
Ag Processing Center	10,000 sf maximum
Food Services	5,000 sf maximum
Ag Accessory Structures	10,000 sf maximum with no structure greater than 1,500 sf
BUILDING HEIGHT	
Building Height	35' maximum; Historical structures may exceed height limit up to 45' maximum.
SETBACKS	
Street Front	20' minimum
Side Interior Lot	20' minimum
Street Side Corner Lot	20' minimum
Rear	20' minimum
OTHER	
Automobile Parking	1 space per 500 sf
Bicycle Parking	See SLOMC Section 17.16.060
Landscaping	Landscape plantings shall be comprised of native, drought tolerant, and/or edible plant varieties.
Lighting	All lighting shall be downward focused except for ambient string-style patio lights.
Signs	See Table 3.15
Fences/Walls/Hedges	See SLOMC Section 17.16.050



Birdseye view of Agricultural Heritage Facility



Plan view illustrative of Agricultural Heritage Facilities and Learning Center Site

3.9.2. Agricultural Heritage Facilities and Learning Center Design Guidelines

The following design guidelines apply to the Agricultural Heritage Facilities and Learning Center within San Luis Ranch.

Site Planning and Design

- A. Site design should consider the highly visible character of this site and place loading/delivery/back of house uses in various inconspicuous locations.
- B. Buildings should be aesthetically pleasing from all angles, especially for buildings that have high visibility from Highway 101.
- C. Site design should incorporate pedestrian walkways, outdoor seating, and landscape areas.
- D. Outdoor spaces should reflect careful planning and provide plaza spaces with defined edges, benches, and lighting that establish a sense of place.
- E. Building forms, materials, and finishes should reflect the agrarian heritage of the site.
- F. Murals, trellises, or vines should be placed on large expanses of walls at the rear or sides of buildings to soften the appearance and create visual interest.
- G. A series of pedestrian promenades and plazas should link the various structures placed on-site for the Agricultural Heritage Facilities and Learning Center.
- H. A variety of outdoor seating areas should be incorporated to encourage formal and informal on-site dining.
- I. Site amenities, including benches, drinking fountains, provisions for bicyclists, water features, and public art, should be utilized and should complement the project's architectural character.
- J. Flexible spacing for use by food trucks, formal and informal events, live music, and other agricultural related activities should be incorporated adjacent to the planned Agricultural Heritage Facilities and Learning Center.
- K. Lighting should be designed to provide ambiance, safety, and security without unnecessary spillover or glare onto adjacent properties.
- L. Building light fixtures, such as barn style or gooseneck, should be designed or selected to be architecturally compatible with the main structures, which should complement the agrarian theme of the site.
- M. Signs should be in scale with and in proportion to the primary building facade so that the signs do not dominate the appearance.
- N. Building materials should consist of materials commonly associated with the architectural style of the building. Highly reflective or tinted glass, imitation stone or brick, corrugated fiberglass, plastic roof tiles, and undecorated concrete block should be avoided.



Site design of highly visible areas should reflect mountain viewsheds



Building materials such as barn wood were consistent with character of this building



Pedestrian promenades link various uses



Site amenities such as a public gardens complement the project's character



The color red was selected to be reminiscent to it's barn-like inspiration



Trees were selected that produce fruit and minimize water use

- O. Exterior colors should be consistent with the architectural style of the building. Color schemes that involve a minimum of three (3) colors should be utilized.
- P. Different colors accentuating different aspects and details of the building architecture should be utilized. Except for accenting different aspects and details of a building, bright colors should be avoided.
- Q. Landscaping should be comprised of edible, production, drought-tolerant, or native plant and tree varieties.
- R. Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- S. Trees should be selected based on performance basis with the objective of producing fruit, minimizing water use, providing shade, minimizing hazardous litter, minimizing root intrusion, and providing color and contrast.
- T. Vines and potted plants should be incorporated to provide wall, column, and post texture and color, as well as for accentuating entryways, courtyards, and sidewalks.
- U. Plantings should be used to screen or separate less desirable areas from public view, such as trash enclosures, parking areas, storage areas, loading areas, and public utilities.

ARCHITECTURAL STYLE



REFERENCE GUIDE

3.10 Architectural Style Reference Guide

3.10.1. San Luis Ranch Buildings and Houses

The Architectural Style Reference Guide is intended to be used as a resource for developing design strategies for residential, commercial, office, hotel, and other land uses within the San Luis Ranch Specific Plan. There are three (3) distinct architectural styles permitted within San Luis Ranch: Modern Agrarian, Craftsman, and Contemporary. Each architectural style includes design criteria for a variety of elements and the composition of that style.

3.10.2. Modern Agrarian

Style Introduction

Modern agrarian architecture is a hybrid style that combines local, utilitarian farmhouse materials with modern accents. Stone base accents, simple massing, a clean roofline, and an open floor plan are a typical mix of style components. Details may include an entry court, multiple breezeways or open-air walkways, classic barn colors such as red, yellow, white or black, shutters, metal roofs, and limited stone accents.

Style Essentials

Low pitched roofline with gabled, hipped, shed, or simple single primary roof

Decorative vented cupolas

Covered porches with square posts and brackets

Regularly placed and shaped multi-paned windows that are vertically oriented with divided lights



Modern Agrarian style example

Massing and Composition

Single front gabled with steep to moderate pitch

Single front gabled roof pitch is typically 5:12. Front porch or interior bay is located under main roof or in front projection.

Cross gabled with steep to moderate pitch

Cross gabled roof pitch is typically 5:12. Front porch or interior bay is located under main roof or in front projection.

Side gabled with shed roof

Side gabled roof pitch is typically 5:12. Front porch or interior bay is located under main roof or in front projection.

Possibilities and Precedents



Materials

Siding/Cladding

- Wood or fiber cement board and batten
- Wood or fiber-cement lap siding
- Stucco up to 50%
- Metal siding either corrugated or paneled

Roofing

- Standing seam metal, corrugated metal, composite shingles, or concrete tile with flat profile

Windows

- Single- or double-hung and casement, sliders to meet egress only
- Energy-efficient wood, PVC-clad, cellular PVC, aluminum clad, aluminum, or vinyl
- Traditional wood profiles

Trim

- Wood, composition board, cellular PVC, or polyurethane

Columns/Brackets

- Square posts
- Wood or composite

Railings

- Flat or profiled
- Wooden top and bottom rails with square balusters

Soffits and Porch Ceiling

- Exposed rafters at soffits with starter board or v-groove sheathing
- T&G wood, beaded plywood, exterior-grade plywood, or stucco ceiling

Gutters

- Ogee, half-round, or square, primed or pre-finished metal
- Fascia gutter permitted

Downspouts

- Rectangular or round
- Primed or pre-finished metal

Shutters

- Raised or flat-paneled
- Louvered or plank
- Wood or composite material, or colored vinyl
- Hinges, shutter dogs, and latches are encouraged

Chimneys

- Manufactured stone or brick veneer or siding to match house

Front Yard Fences

- Wood picket, prefinished metal, stone, masonry, or stucco finish
- Vinyl picket permitted

Rear Yard Fences

- Cedar, redwood, or masonry with stucco finish
- Vinyl and pressure-treated wood are permitted

Details

- Knee brackets

Colors

Siding and Trim

- White, cream, or natural colors

Windows

- White or sashes and frames to match trim color

Roof Shingles

- Natural shake color

Gutters and Downspouts

- Match color of siding/cladding and trim

Front Yard Fences

- Wood to be white

3.10.3. Craftsman

Style Introduction

Craftsman style architecture highlights natural materials, simplicity, and handiwork. Open porches feature overhanging beams and exposed rafters. A low-pitched roof and projecting eaves are typical of this style. Typical details can include shingle siding and stone details. Gables and dormers are accentuated with decorative trim. Porches are often supported with square or round columns and stone supports.

Style Essentials

- Low sloped roof with smaller gable over the porch or alternatively a shed roof facing the front with a broad dormer for an upper story room
- Open or enclosed front porch serves as an extension of the indoor living space
- Variety of window sizes with various patterns based on style
- More than one material is utilized, often dividing the main floor from the second story.

Massing and Composition

One and a half-story side gabled with dormer

Simple shed roof pitch is typically 8:12. Front porch is located under main roof. Optional side bays with one-story shed roof.

One-story front gable with bay or porch projection

Front gable roof with max pitch 8:12. Front porch or interior bay is in the front projection. Optional side bays under eaves.



Craftsman style example

Possibilities and Precedents



One and a half-side gabled with shed porch

Front facing shed roof with dual pitch at max 8:12. Front porch is included within the main building massing. Front dormer is aligned with exterior entry door. Optional one-story side bays with shed roof.



One and a half-story front gabled

Simple gable roof with max pitch 8:12. Front porch is included within the main building massing. Optional side bays under eaves.



Cross-gable roof

Shed roof on main massing facing the front. Projecting front porch or bay is gable-front. Optional wrap around porches for corner lots fronting onto two streets.



Low-pitched hipped

Low pitched hipped roof on main massing facing the front. Front porch or interior bay is in the front projection.



Materials

Siding/Cladding

- Wood or fiber-cement lap siding
- Wood of fiber cement shingles/shake
- Brick or river stone

Roofing

- Composition shingles, concrete tile with flat profile

Windows

- Single- or double-hung and casement, sliders to meet egress only.
- Energy-efficient wood, PVC-clad, cellular PVC, aluminum clad, aluminum, or vinyl
- Traditional wood profiles

Trim

- Wood, composition board, cellular PVC, or polyurethane

Columns/Porch Supports

- Low piers of wood or stone with column above
- Column style - battered, square, groupings of square

Railings

- Flat or profiled
- Wooden top and bottom rails
- Balusters - flat board or rectangular pattern rhythmic spacing
- Wood sided or stone porch walls acceptable

Soffits and Porch Ceiling

- Exposed rafters at soffits with starter board, or v-groove sheathing at eaves
- T&G wood, beaded plywood, exterior-grade plywood, or stucco ceiling at porches or box soffits

Gutters

- Ogee or half-round, primed or pre-finished metal

- Fascia gutter permitted

Downspouts

- Rectangular or round
- Primed or pre-finished metal

Shutters

- Not common for Craftsman style

Chimneys

- Manufactured stone or brick veneer or siding to match house

Front Yard Fences

- Wood picket, prefinished metal or river stone
- Vinyl picket permitted

Rear Yard Fences

- Cedar or redwood
- Vinyl and pressure-treated wood are permitted

Details

- Decorative (false) beams
- Outlookers and knee braces
- Gable and roof vents

Colors

Siding and Trim

- White, cream, or natural colors

Windows

- White or sashes and frames to match trim color

Roof Shingles

- Natural shake color

Gutters and Downspouts

- Match color of siding/cladding and trim

Front Yard Fences

- Wood to be white

3.10.4. Contemporary

Style Introduction

The Contemporary style home features a range of sleek and contemporary architectural styles. Clean and simple lines, minimal decoration or ornamentation, generous amounts of glass, and a flat or shed-like roofline characterize this style. The floor plan is typically unusual and open featuring indoor/outdoor living spaces. Details may include multiple flat rooflines, irregular massing, clean lines, minimal decoration, and oversized windows

Style Essentials

- **Multiple flat or shed-like rooflines with irregular massing and clean lines defining different stories**
- **Features multiple indoor/outdoor living spaces**
- **Generous amounts of glass in various sizes and patterns**
- **Minimal decoration or ornamentation but material accents define some portion of each facade at different stories**

Massing and Composition

Two and/or three-story flat roof

Flat roof is typically below 2:12. Front porch may be located under or projecting from front massing.

Two and/or three story shed-like roof

Shed-like roof ranges from 4:12 to 8:12. Front porch may be located under or projecting from front massing.



Contemporary style example

Possibilities and Precedents



Materials

Siding/Cladding

- Wood or fiber cement board and batten
- Wood or fiber-cement lap siding
- Stucco up to 65%
- Metal siding either corrugated or paneled

Roofing

- Standing seam metal, corrugated metal, composite shingles, or concrete tile with flat profile

Windows

- Single- or double-hung and casement, sliders to meet egress only
- Energy-efficient PVC-clad, cellular PVC, aluminum clad, aluminum, or vinyl

Trim

- Wood, composition board, cellular PVC, or polyurethane

Columns/Brackets

- Not common for Contemporary style
- Emphasis on clean lines

Railings

- Flat or profiled
- Metal top and bottom rails with square balusters

Soffits and Porch Ceiling

- Stucco soffits
- T&G wood, beaded plywood, exterior-grade plywood, or stucco ceiling

Gutters

- Ogee, half-round, or square, primed or pre-finished metal
- Fascia gutter permitted

Downspouts

- Rectangular or round

- Primed or pre-finished metal

Shutters

- Not common for Contemporary style

Chimneys

- Manufactured stone or brick veneer, concrete block, stucco or siding to match house

Front Yard Fences

- Wood picket, prefinished metal, stone, masonry, or stucco finish
- Vinyl picket permitted

Rear Yard Fences

- Cedar, redwood, or masonry with stucco finish
- Vinyl and pressure-treated wood are permitted

Details

- Flat profile, metal window awning

Colors

Siding and Trim

- White, cream, gray or natural colors

Windows

- White or sashes and frames to match trim color

Roof Shingles

- Natural shake color

Gutters and Downspouts

- Match color of siding/cladding and trim

Front Yard Fences

- Wood to be white
- Metal to be gray

Signs and Monuments



Development Standards

3.11 Sign and Monument Development Standards

The following standards shall be used in conjunction with Chapter 15.40 - Sign Regulations of the San Luis Obispo Municipal Code. Where conflict occurs, the standards herein shall prevail. Where silent, the Municipal Code shall be used. The standards below will be used to develop specific sign programs for different project components as they move forward through the City's architectural review process. All sign programs will require the review and approval of the City's Architectural Review Commission (ARC).

Table 3-15: Sign and Monument Development Standards

Use	Sign Type	Max Quantity	Max Square Feet ¹	Max Height ²	General Location	Lighting Standards
Residential	Subdivision Entry Monument	1 per street frontage	20 sf	As approved by the ARC	Shall be located in a landscaped planter typically at the neighborhood entrance.	Illumination is not permitted except for external directed and shielded lights.
	Wall Sign, Directory Sign	1 each per street frontage	20 sf	NA	Wall Signs shall be located over building entrances.	Illumination is not permitted except for directory signs. Directory Signs shall be consistent with Section 15.40.430 of the Municipal Code.
	Address	Address signs shall comply with Article 901.4.4 of the 1997 Uniform Fire Code				
	Sales	See Temporary Sales Below				

Table 3-15: Sign and Monument Development Standards *continued*

Use	Sign Type	Max Quantity	Max Square Feet ¹	Max Height ²	General Location	Lighting Standards
Commercial	Monument	1 per street frontage	24 sf	6	Shall be located in a landscaped planter. May be located in required street front setback.	External or halo lighting is preferred. Internally illuminated signs shall have a dark background with light lettering. Fixtures shall be selected that do not allow light or glare to shine onto any public right-of-way or adjoining property.
	Wall Sign, Awning Sign, Window Sign, Projecting Sign, Hanging Sign	Single Buildings shall be permitted up to 4 signs. Multiple tenant buildings are limited to 2 signs per tenant.	200 sf total for primary anchor tenants with no sign permitted larger than 100 sf. All other tenants - 50 sf. total for all signs.	NA	Shall be consistent with Section 15.40.470 of the Municipal Code.	Shall be consistent with Section 15.40.430 of the Municipal Code.
	Shopping Center	1 per street frontage	Subject to approval of ARC.	16		Shall be consistent with Section 15.40.430 of the Municipal Code.
	Pylon/Pole	1 per center	72 sf	16	Shall be located outside of required setbacks.	Shall be consistent with Section 15.40.430 of the Municipal Code.

Table 3-15: Sign and Monument Development Standards *continued*

Use	Sign Type	Max Quantity	Max Square Feet ¹	Max Height ²	General Location	Lighting Standards
Hotel	Monument	1 per street frontage	24 sf	6	Shall be located in a landscaped planter. May be located in required street front setback.	External or halo lighting is preferred. Internally illuminated signs shall have a dark background with light lettering. Fixtures shall be selected that do not allow light or glare to shine onto any public right-of-way or adjoining property.
	Wall Sign	"3 Additional 2 signs allowed for portecochere."	"50 sf each. Portecochere sign area shall be proportionate with fascia."	3	Shall be consistent with Section 15.40.470 of the Municipal Code.	
	Pylon/Pole	1	72 sf	16	Shall be located outside of required street front setback.	Shall be consistent with Section 15.40.430 of the Municipal Code.

Table 3-15: Sign and Monument Development Standards *continued*

Use	Sign Type	Max Quantity	Max Square Feet ¹	Max Height ²	General Location	Lighting Standards
Park	Monument	1 per street frontage	24 sf	4	Shall be located in a landscaped planter.	External or halo lighting is preferred. Internally illuminated signs shall have a dark background with light lettering. Fixtures shall be selected that do not allow light or glare to shine onto any public right-of-way or adjoining property.
Open Space	Monument	1 per street frontage	24 sf	4	Shall be located in a landscaped planter.	Shall be consistent with Section 15.40.430 of the Municipal Code.
	Wayfinding/ Directional Signage	10	20 sf each	NA	NA	Shall be consistent with Section 15.40.430 of the Municipal Code.

Table 3-15: Sign and Monument Development Standards *continued*

Use	Sign Type	Max Quantity	Max Square Feet ¹	Max Height ²	General Location	Lighting Standards
Heritage Center	Monument	1	20 sf	4	Shall be located in a landscaped planter. May be located in required street front setback.	
	Wall Sign, Awning Sign, Window Sign, Projecting Sign	4	50 sf each. Signs greater than 24 sf in size are subject to architectural review.	3	Shall be consistent with Section 15.40.470 of the Municipal Code.	External or halo lighting is preferred. Internally illuminated signs shall have a dark background with light lettering. Fixtures shall be selected that do not allow light or glare to shine onto any public right-of-way or adjoining property.
Informational	Wayfinding/ Directional Signage	6 within the Specific Plan Area	20 sf each	NA	NA	Shall be consistent with Section 15.40.430 of the Municipal Code.
Temporary Sales	Signage	As needed	20 sf each	4	Shall be located outside of public right-of-way.	Prohibited

Plant Palette



REFERENCE GUIDE

3.12 Plant Palette

3.12.1. Tree and Shrub Recommendations

Table 3.16 includes trees and shrubs recommended for all San Luis Ranch zoning designations.

Table 3-16: Plant Palette






	PLANT NAME	SIZE (FEET)		WATER USE	TYPE	ZONE						LANDSCAPE USES								
		HEIGHT	WIDTH			EVERGREEN (E)/ DECIDUOUS (D)	NG1	NG2	NC	PARKS/OPEN SPACE	AGRICULTURE	RIPARIAN	VEGETATED BUFFER	PATIO TREE	PARKING LOT	PARKWAY	SPECIMEN	PRODUCTION	DETENTION BASIN/ SWALE	CALIFORNIA NATIVE
TREES																				
	<i>Acer circinatum</i> Vine Maple	15	20	Moderate	D								•	•					•	•
	<i>Acer macrophyllum</i> Big Leaf Maple	100	50	Moderate	D					•			•	•					•	•
	<i>Acer negundo</i> v. <i>Californicum</i> Box Elder	60	20	Moderate	D								•	•					•	•
	<i>Aesculus californica</i> California Buckeye	20	20	Very Low	D					•			•	•					•	•
	<i>Alnus Rhombifolia</i> White Alder	80	40	High	D					•			•	•					•	•
	<i>Arbutus marina</i> Marina Madrone	40	40	Low	E	•	•	•	•				•	•	•					•
	<i>Betula nigra</i> River Birch	90	60	High	D					•			•						•	
	 <i>Brachychiton acerifolius</i> Australian Flame Tree	60	30	Low	D					•									•	
	<i>Calocedrus decurrens</i> Incense Cedar	100	30	Moderate	E					•			•							•
	<i>Cassia leptophylla</i> Gold Medallion Tree	30	20	Low	Semi-E										•	•	•			•

Table 3-16: Plant Palette *continued*

	PLANT NAME	SIZE (FEET)		WATER USE	TYPE	ZONE				LANDSCAPE USES										
		HEIGHT	WIDTH			EVERGREEN (E)/ DECIDUOUS (D)	NG1	NG2	NC	PARKS/OPEN SPACE	AGRICULTURE	RIPARIAN	VEGETATED BUFFER	PATIO TREE	PARKING LOT	PARKWAY	SPECIMEN	PRODUCTION	DETENTION BASIN/ SWALE	CALIFORNIA NATIVE
	<i>Chionanthus retusus</i> Chinese Fringe Tree	20	20	Moderate	D	•	•		•					•	•	•	•			
	<i>Citrus x 'Bearss'</i> Lime	15	15	Moderate	E	•	•		•					•			•			
	<i>Citrus x 'Eureka'</i> Eureka Lemon	20	20	Moderate	E	•	•		•					•			•			
	<i>Citrus x sinensis</i> <i>'Washington Navel'</i> Orange	20	20	Moderate	E	•	•		•					•			•			
	<i>Cedrus deodara</i> Deodar Cedar	80	40	Low	E				•											
	<i>Eriobotrya deflexa</i> Bronze Loquat	15	10	Moderate	E				•											
	<i>Fagus sylvatica</i> Common Beach	70	40	Moderate	D				•											
	<i>Geijera parviflora</i> Australian Willow	30	20	Moderate	E		•													•
	<i>Ginkgo biloba</i> Maidenhair Tree	50	30	Moderate	D				•		•				•	•				•
	<i>Jacaranda mimosifolia</i> Jacaranda	40	30	Moderate	D	•			•											•
	<i>Lagerstroemia faurei</i> Japanese Crape Myrtle	30	30	Low	D	•			•						•					



Chapter 4

AGRICULTURE, OPEN SPACE & PARKS



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4 AGRICULTURE, OPEN SPACE & PARKS



4.1 Introduction

With half of the site set aside for agriculture, open space, and parks, San Luis Ranch takes an integrated, comprehensive approach to planning and managing open and recreational spaces. As a high priority and key feature of the Plan, the proposed open spaces envelop and extend into future residential and commercial development, reinforcing the visual prominence of agricultural uses at the southern gateway to San Luis Obispo. The design focuses on connecting open spaces throughout the neighborhood, expanding the City's network of parks and paths, protecting natural

resources, preserving the City's agricultural character, and contributing to a sustainable future (see Figure 4.1).

The San Luis Ranch Specific Plan Area's visually sensitive location and the quality of the agricultural land led to a General Plan requirement to set aside 50 percent of the site for open space and agriculture. Figure 4.2 illustrates the configuration of the agriculture, open space, and parks in the Plan Area.

Figure 4.1 Bike Path Along the Creek



4.1.1 Goals

AGRICULTURE, OPEN SPACE AND PARKS GOALS

Preserve the site's agricultural facilities to build a sense of place and agricultural heritage.

Connect agricultural lands to the adjacent San Luis Obispo City Farm.

Maintain agricultural and open space resources on-site in a manner consistent with the City's General Plan.

Inform locals and visitors about Central Coast agriculture.

Ensure parks and recreational facilities reflect community values as expressed in the General Plan.

Provide a variety of amenities that support the diverse needs of the community at large and set the standard for multimodal community design.

Provide a natural environment and recreational amenities for residents and the broader community.



Agricultural produce



Recreation trail open space accommodates all ages



Park and exercise equipment

Figure 4.2 Agriculture and Open Space



"Provide a wide range of parks and sports and recreational facilities for the enjoyment of our citizens."

General Plan Goal #28

"Parks shall be designed to meet a variety of needs depending on park size, location, natural features, and user demands... San Luis Obispo residents shall have access to a neighborhood park within .5 to 1.0 mile walking distance of their residence."

Parks and Recreation Element policy

4.2 Agriculture

Dating back to the turn of the 20th century, the Dalidio Ranch included a collection of structures: the Dalidio home, Laguna Racetrack viewing stand, barn, water tower, and other buildings supporting the farming of the ranch. Some buildings within the complex, most notably the Dalidio home, barn, and the Laguna Racetrack viewing stand, may be considered historically significant based on State and local criteria and guidelines, and “Historic evaluation of the existing farm house and associated structures shall be included” as required by the General Plan’s Land Use Element (Section 8.3 p. 105).

Two potentially historically significant buildings in the area, the Dalidio Home and the Laguna Race Track Viewing Stand, will be relocated to the Agricultural Heritage and Learning Center area for permanent preservation. Both will be subject to historic documentation by a qualified historian prior to relocation, including being photographed and recorded consistent with professional historical standards, and a qualified historic preservation architect will be consulted during relocation planning to ensure that significant historic materials and fabric are retained and reconstructed appropriately. The associated structures in the area will also similarly be photographed and recorded before they are removed from the site.

The San Luis Ranch Specific Plan will preserve a significant piece of San Luis Obispo agriculture as well as integrate the site’s historical agriculture into the community (see Figure 4.2), with farm operations to be provided by a private lease agreement. The agricultural land will be contiguous with the adjacent San Luis Obispo City Farm to allow for integration, and will include a community learning center.

The Agricultural Heritage Facilities and Learning Center will be a destination for residents and tourists alike and will provide the community with local food, education, and a connection to agriculture. The Agricultural Heritage Facilities and Learning Center may include the following:



Agriculture at Dalidio Ranch

Heritage

- Preservation of Historic Structures
- Iconic Barn Feature
- Historic Architectural Ambiance
- Bucolic Vistas of Agriculture and Barn Setting

Amenities

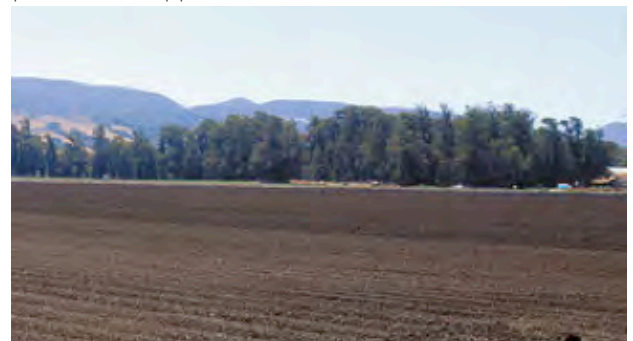
- Agricultural Heritage Facilities and Learning Center
- Market/Farm Stands
- Community Garden
- Hay Rides
- Pumpkin Patch
- Agricultural Processing Center
- Farm Animals
- Fresh Produce Baskets
- Locally Made Goods/Products

Agricultural Events

- Seasonal and Special Events
- Hoedowns with live music
- Learning Activities
- Community Gatherings

Cultural significance of the relocated historic structures will be reflected in new architecture at the Learning Center. Most notably, the Agricultural Heritage Facilities and Learning Center will feature a reconstruction of the iconic barn that creates the ambiance of farm culture.

In addition to the agricultural and seasonal events, the barn at San Luis Ranch will be available to host private events including, hoe downs, family reunions, business gatherings, and other community gatherings. The Agricultural Heritage Facilities and Learning Center will be closed on Thursdays to avoid competition with the Downtown farmer’s market and will work with the Saturday farmer’s market on cross promotional opportunities.



4.2.1 Agriculture Buffer

Agricultural Buffers provide space for typical farming practices to continue when development occurs in or near farm operations. Buffers protect the health and safety of the general public from farm operations noise, dust, odor, legal pesticide use and the other normal activities that are part of farming and ranching. Buffers limit human-occupied structures in the space between croplands and adjacent non-agriculture uses.

San Luis Obispo County has adopted agricultural buffer policies that are discretionary in nature, and determined on a case-by-case basis. A typically agriculture buffer is 100 feet. In order to maximize the amount of agricultural use area the San Luis Ranch Specific Plan proposes a 72-foot buffer (Figure 4.3). To meet the intent of the agricultural buffer in the 72 foot section the San Luis Ranch buffer will include berm and bioswale configurations limits on production hours and machinery use.

Figure 4.3 From Ranch Road Section Agriculture Buffer

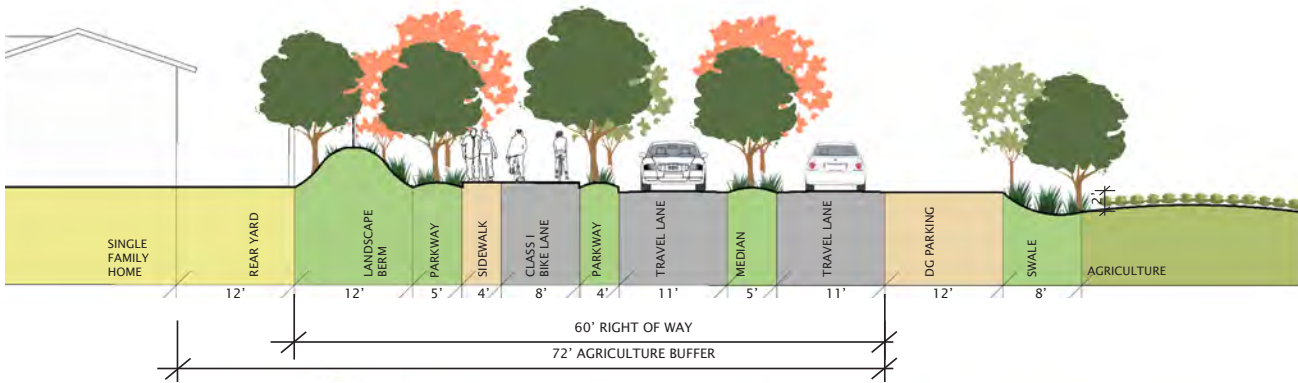


Figure 4.4 Agricultural Heritage Facilities and Family Center



Figure 4.5 Aerial of Agricultural Heritage Facilities and Family Center



4.2.2 Agricultural Heritage Facility and Learning Center

Benefits of the Agricultural Heritage Facilities and Learning Center

Convenient location: The agricultural land will be contiguous with the adjacent San Luis Obispo City Farm and will serve as a buffer between housing and the freeway. The Agricultural Heritage Facilities and Learning Center will be visible from Highway 101 and add to the City's southern gateway.

Close to home: The Agricultural Heritage Facilities and Learning Center will be integrated within San Luis Ranch neighborhood and the greater San Luis Obispo community. Neighborhood residents will have convenient access through the various bike paths and pedestrian trails. Visitors to the Agricultural Heritage Facilities and Learning Center from outside the neighborhood can access the facility via the Bob Jones Bike Path, transit, or car.

Experience for children and adults: Children and adults will enjoy the Agricultural Heritage Facilities and Learning Center. There will be various learning opportunities and activities, such as shopping for local produce, visiting farm animals, getting involved in communal farming, and attending special events.

See where food is grown: At the Agricultural Heritage Facilities and Learning Center, all produce is grown locally on the Central Coast.

Amenities

Learning Center: The Agricultural Heritage Facilities and Learning Center hopes to provide information, activities, and tours about local produce, farm animals, building a compost pile, and food labeling. More intensive programs may include activities or workshops on nutrition, cooking, and sustainable agriculture. Programs will be suitable for adults, families, children, and groups.

Market/Farm Stand: There will be a market/farm stand to sell products sourced from local farms. Whenever possible, the market will carry products that are organic, pesticide free, and/or preservative free. The market will sell seasonal fruits and vegetables including cherries, peaches, tomatoes, onions, squash, green beans, and much more. The market may also carry local wine and beer, gourmet cheeses, nuts, and locally produced food and beverage.

Community Garden: The community garden can be a public space intended for communal farming. This garden can promote local food production, as well as maintain the historical agricultural tradition. The community garden hopes to encourage community interaction and access to healthy foods.

Hay Rides: Hay rides may be offered to allow visitors of San Luis Ranch to hop on board and head out into the fields to get a tour and pick fresh fruits such as peaches and apples. Hayrides are a perfect family activity and promote local agriculture and healthy eating.

Agricultural Processing Center: The Agricultural Heritage Facilities and Learning Center may include an agricultural processing center to support the production of local produce.

Farm Animals: There may be various farm animals at the facility, such as goats, chickens, and sheep. Children may be able to pet and feed the animals.

Food Services: May include a restaurant or café that offers delicious home-grown and fresh-picked produce. All offerings will be Central Coast inspired and grown and will be handcrafted using the freshest, all-natural ingredients.

4.3 Open Space

San Luis Obispo is known for its open, rural character, punctuated by scenic peaks, parks, and trails serving its active community. As shown in Figure 4.6, San Luis Ranch is surrounded by parks and open space, including the Irish Hills Natural Reserve immediately west, Laguna Lake and the Main Open Space to the north, and the South Hills Open Space to the east. The City of San Luis Obispo seeks to provide park and trail amenities that are accessible to members of the community. Specifically, a goal of the Parks and Recreation Element is to ensure that new

development provides parks and recreational facilities in proportion to increases in population.

The San Luis Ranch Specific Plan enhances the City's open space by introducing new amenities, including adding a key link in the Bob Jones Trail and active linear parks. For additional discussion of amenities relevant to open space, please see Section 4.4 for parks and Chapter 6 for bicycle and pedestrian trails. Figure 4.8 illustrates the overall open space concept for San Luis Ranch.

Figure 4.6 City of San Luis Obispo Open Space



4.3.1 Bob Jones City to Sea Trail

The Bob Jones City-to-Sea Trail is a bicycle and pedestrian path intended to expand the City's greenbelt, preserve scenic views along Highway 101, provide access to City amenities, such as the Octagon Barn, and connect the communities of San Luis Obispo and Avila Beach. The San Luis Ranch Specific Plan development will complete the integral connection of the Bob Jones Trail from Laguna Lake to Los Osos Valley Road. The Bob Jones Trail alignment will also connect with a larger network of trails to join Laguna Lake Park to the San Luis Ranch Specific Plan Area and the Prado Road extension.

Figure 4.7 shows a possible alignment of the Bob Jones Trail as it traverses the Plan Area. Alignment design will be finalized during the environmental review process. This connection is consistent with the goals set forth in San Luis Obispo's 2013 Bicycle Transportation Plan and the City's Circulation Element. The connection will provide a significant benefit to bicyclists moving through the Plan Area, as well as members of the broader community, and will be given to the City as an offer of dedication.

Figure 4.7 Potential Bob Jones Trail Connection Through the Plan Area



Source: SLO 2013 Bicycle Transportation Plan



Bob Jones Trail

From the Vision of San Luis Obispo's 2013 Bicycle Transportation Plan:

"Bicycling becomes an important element of the City's economy, with connections provided to important regional destinations such as beaches and inland parks. For tourists and residents alike, the careful location and design of off-street paths (such as the Railroad Safety Trail and the Bob Jones City-to-Sea Trail) allow them to appreciate unique community features" (p. vi).

4.4 Parks

The City of San Luis Obispo is home to 21 parks totaling 158 acres of park landscape and 82 acres of turf. An objective of the City's Parks and Recreation Element is to ensure new developments provide needed parkland for new residents. San Luis Ranch will meet the City's requirements concerning new development parkland, and will enhance the City's already robust parkland inventory and experience through its varied park and open space amenities, shown overall in Figure 4.8.

Offers of dedication will be made to the City for all open space and parks, with the exceptions of the Central Neighborhood Park and the Pocket Parks, which will be owned and maintained by the San Luis Ranch Home Owners' Association. All areas will have intermittent mutt-mitt stations installed, as well as trash and recycling receptacles.

4.4.1 Central Neighborhood Park

A large neighborhood park will provide recreational amenities to all age groups. Centrally located in the San Luis Ranch community, this park can be easily accessed by all residents, serve as a community gathering space, provide active recreational amenities such as sport courts and play activities for children, as well as passive recreational areas. Figures 4.12 and 4.13 illustrate the Central Neighborhood Park Concept.

4.4.2 Pocket Parks

Pocket parks provided throughout the San Luis Ranch community will provide both recreational and pedestrian amenities and open space breaks among the urban fabric, allowing connectivity between residential areas and creating a more open feel to the neighborhood. Figures 4.14 and 4.15 illustrate the Pocket Parks concept.

4.4.3 San Luis Ranch Preserve and Trailhead

A key linear park element of the Specific Plan will be the San Luis Ranch Preserve and Trailhead that will incorporate the Bob Jones Trail extension and connect the linear park behind Target to Laguna Lake. The San Luis Ranch Preserve and Trailhead will include natural habitat, native plants, open space experiences, park recreation features, nature viewing areas and art elements of interest. It will accommodate biking, hiking, walking, and dog playing. The San Luis Ranch Preserve and Trailhead will serve as

a centrally located amenity for the City of San Luis Obispo and Specific Plan residents alike. Figure 4.8 and illustrates the San Luis Ranch Preserve and Trailhead.

4.4.4 Active Linear Park: Fitness Loop and Parkway

Linear parks in the San Luis Ranch community (as distinguished from the central neighborhood park and pocket parks) buffer the residential perimeters and the Bob Jones Trail. These linear parks are envisioned as a different type of open space offering enhanced recreational opportunities for the entire San Luis Obispo community. These linear parks will include active recreational areas in conjunction with their creek-side setting, walking and biking pathways, and natural connections throughout the community and extending to Laguna Lake Park. Figure 4.11 illustrates the Active Linear Park's Fitness Loop and Parkway.



Half basketball courts



Perimeter path with drought tolerant landscaping

Figure 4.8 Open Space and Park Plan



Preserving open space helps maintain the quality of life enjoyed on our beautiful Central Coast. With the San Luis Ranch Preserve and Trailhead, CCB will honor this tradition and protect and enhance some of the most exquisite natural habitats in the area. There will be significant recreational activities to accommodate all fitness levels. The “Ranch” offers a recreational experience to the community unlike anything else in San Luis Obispo County. The interconnectivity of the parks creates a variety of exploration opportunities for people and our four legged friends. There will be pet waste stations throughout the Ranch. Additionally, the parks connect directly to Laguna Lake Park and Cerro San Luis Hiking Trail. San Luis Obispo can add this beautiful, exceptional recreation area to its existing inventory of spectacular parkland.



Stormwater retention area, boulders, and native landscaping



Drought tolerant landscaping



Dero Corp. Fix-It Stations throughout



Native re-planting / water detention



Fitness loop



Landscape forms bike racks



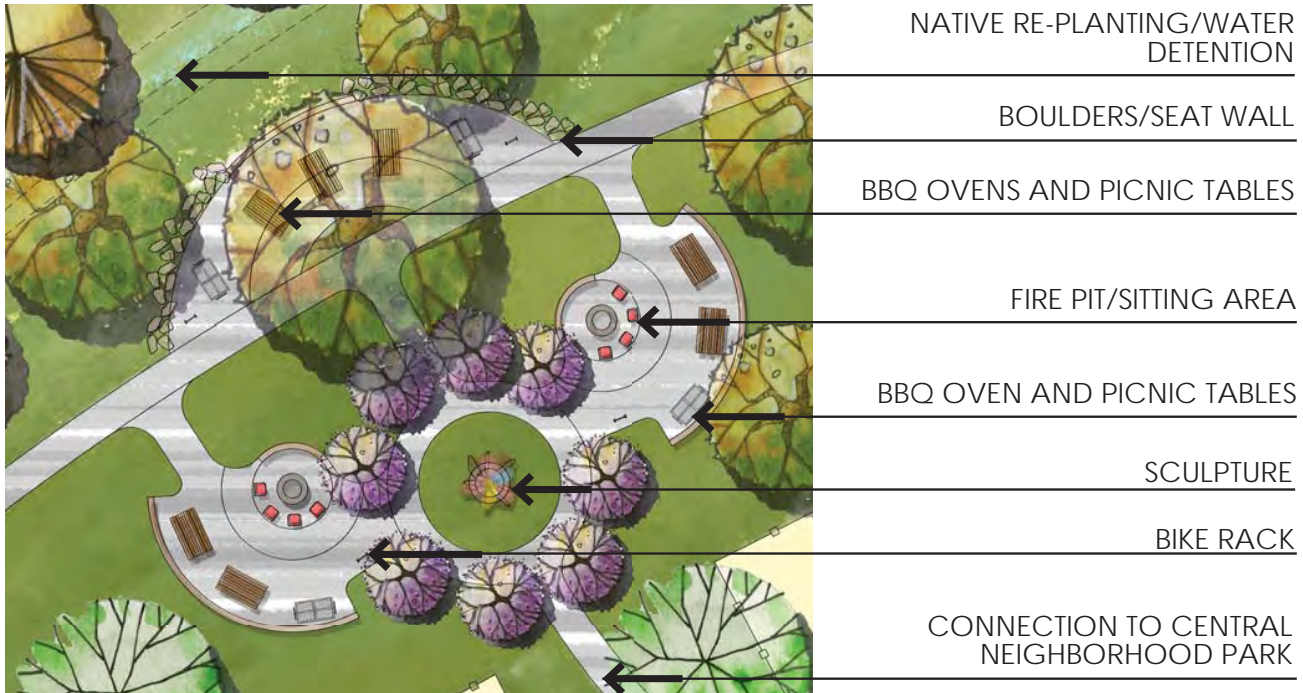
OPEN SPACE AND PARK CONCEPT OVERVIEW

Figure 4.9 Overall Plan Area with Open Space and Linear Recreation Area



Nestled between Prefumo Creek and the charming neighborhood of San Luis Ranch will be a restored natural habitat with links to the Bob Jones Trail, Laguna Lake Park as well as the trailhead to the Cerro San Luis. At “The Preserve” the emphasis will be on reclaiming not rebuilding the open spaces. The multi-purpose trails will offer various recreational activities and adventures. In addition to hiking, there are running and cycling opportunities for the exercise enthusiast. The nature lover will enjoy bird-watching, viewing the various native plantings, sculptures, and serene views. Friends and families can gather for a midday picnic after working in the community gardens or enjoying the natural play structures throughout the Preserve.

Figure 4.10 BBQ Oven / Community Picnic Area



Natural educational presentation area



Community gardens



Sculpture gardens



Sitting areas



BBQ and community ovens/fire pit

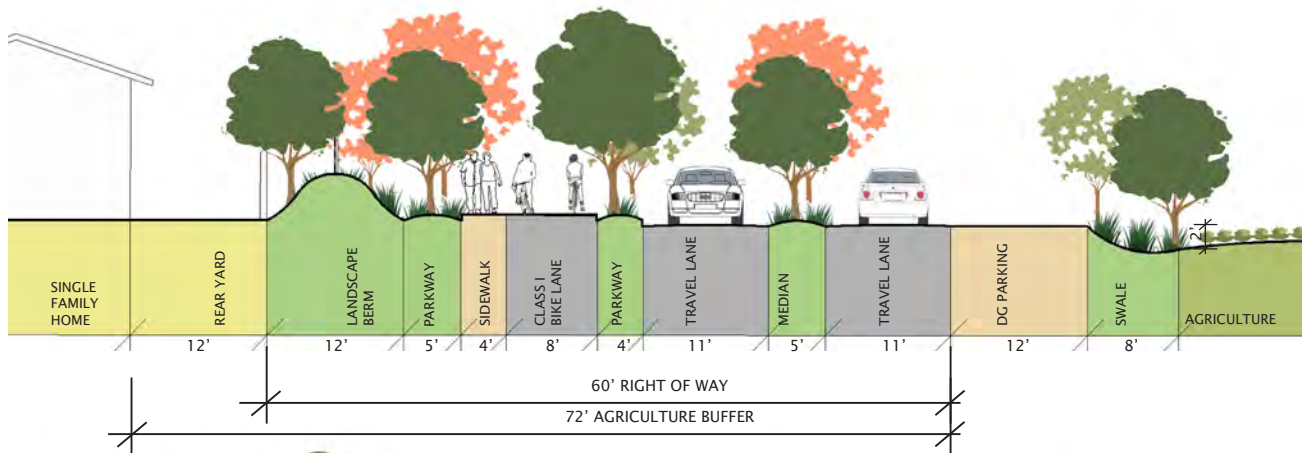


SAN LUIS RANCH PRESERVE AND TRAILHEADS

Figure 4.11 Overall Plan Area with Fitness Loop and Parkway



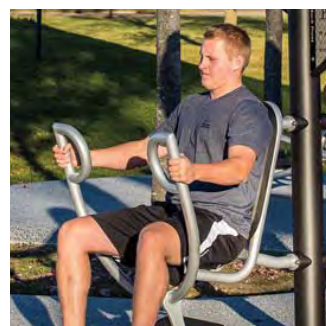
Walk, Run, Ride - choose your pace. An innovative linear park will provide a tree lined fitness loop around the perimeter of the "Ranch." A true multimodal experience, these accessible, sheltered recreational areas offer jogging, biking and pedestrian paths that create a fresh environment to enjoy fitness at any level. Bike to work, walk to get your morning coffee or use the "outdoor gym" of fitness stations dispersed throughout the Parkway. The "Loop" can be a carefree, social "walk and talk" outing with neighbors; an enhanced lifestyle choice in one's own backyard.



Bike lane/path (Along Froom Ranch Way)



Physical fitness zones (along Froom Ranch Way)



FITNESS LOOP AND PARKWAY CONCEPT

Figure 4.12 Overall Plan Area with Central Neighborhood Park



A large neighborhood park centered in the heart of San Luis Ranch will provide a sanctuary and leisure opportunities for all ages. Young children and their neighborhood friends can create fun adventures on the inspired play structures. Basketball courts for the young and young at heart, yoga with the neighbors or just sitting and gazing at the view. A community gathering in the barbeque area are all possible. Social activities are encouraged with picnic benches, outdoor community oven and barbeques. The central park is easily accessible from home through pedestrian friendly walking paths and Pocket Parks.

Figure 4.13 Neighborhood Park



Flower maze



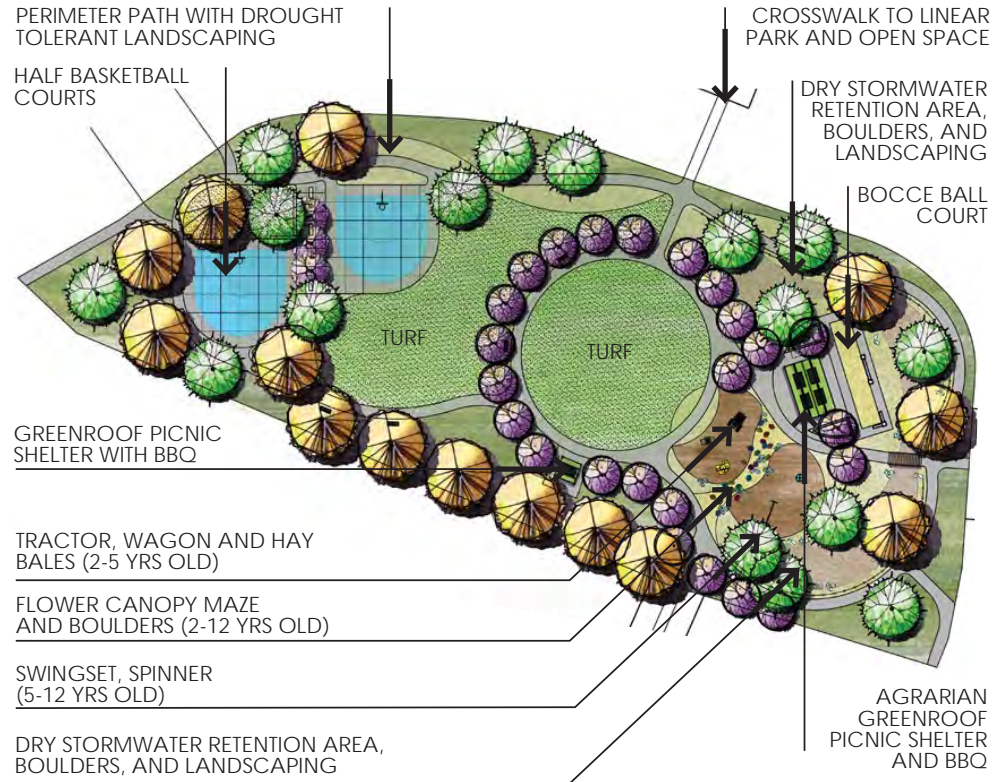
Split rail fence



Spinner



Tractor and hay bales



Bocce ball court



Half basketball courts



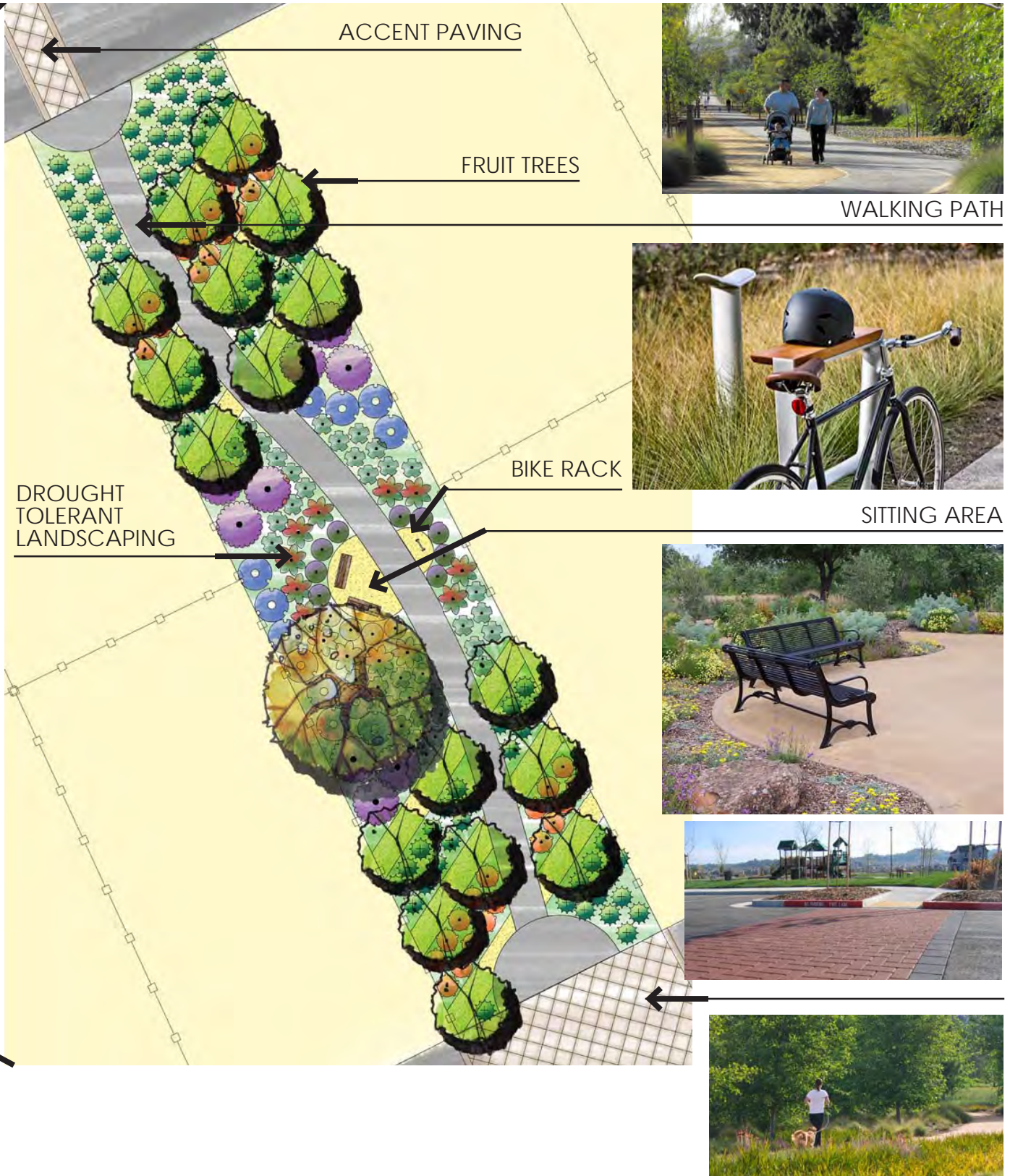
CENTRAL NEIGHBORHOOD PARK CONCEPT

Figure 4.14 Overall Plan Area with Pocket Parks



A popular trend in urban areas, pocket parks will be interspersed throughout San Luis Ranch. These charming, tree lined spaces will provide a sheltered place to cool down from a run, visit with a friend, read the latest best seller, or just enjoy nature. These quiet corridors will provide the connectivity for residents to get from their homes to the Central Park and open spaces.

Figure 4.15 Pocket Park Concept



POCKET PARK CONCEPT

4.5 Interim Open Space

The San Luis Ranch Specific Plan designates the existing blue heron habitat as 4.4 acres of interim open space. The interim open space is located in the northwestern of the Plan Area adjacent to the multi-family residential uses.

4.5.1 Wildlife

There is currently an active great blue heron rookery in the Specific Plan Area, located in the stand of blue gum eucalyptus between the Post Office and the farm buildings. The great blue heron is a large wading bird that occurs in a variety of habitats from wetlands to pastures where it forages for fish, small mammals, and other small wildlife. Great blue herons have been nesting in the San Luis Ranch Specific Plan Area since at least 1979, though not always in the same trees.

Great blue herons are colonial breeders, aggregating during the breeding season to nest in a variety of tree species. They typically nest in the tallest trees available to avoid predation, are most sensitive during pre-nesting and courtship periods, and generally do not tolerate human activity underneath their habitat and nests. Herons may relocate upon experiencing increased predation, changes in feeding area, as well as human-related disturbance, which may be influenced by the amount of tolerance a particular nesting population develops if the activity is repeatedly non-threatening.

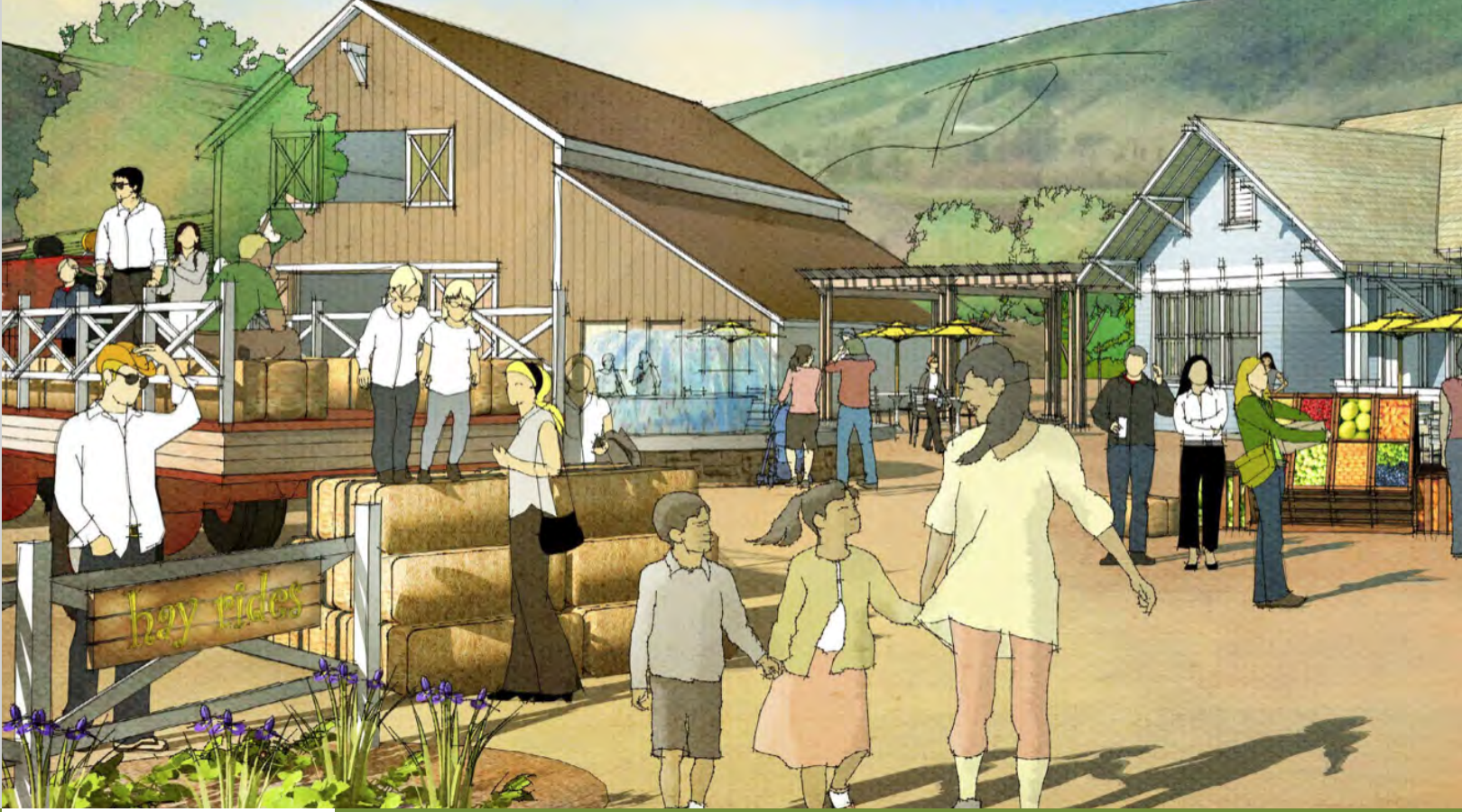
4.5.2 Future Off-Site Mitigation and Use of Interim Open Space

As part of the implementation of the Specific Plan, the nesting location of the great blue herons in the Plan Area will either be protected in place or relocated. The San Luis Ranch Specific Plan will attempt to retain herons onsite, but create alternative heron habitat offsite to ensure a colony remains extant in the project vicinity after project construction is done. If the herons naturally relocate or the habitat is mitigated offsite, then this interim open space will become open for development of additional multi-family residential units.

Figure 4.16 Interim Open Space



Blue Heron Habitat



Chapter 5

SUSTAINABILITY



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