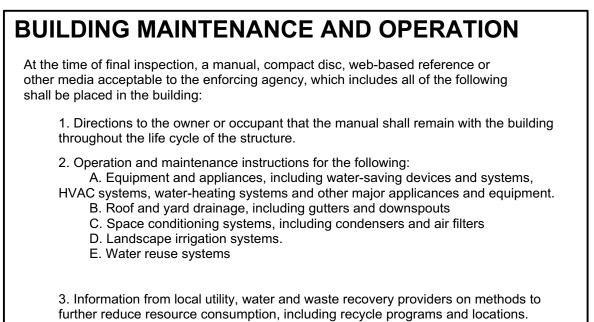
ROCKVIEW MODERNS

3063 ROCKVIEW PLACE, SAN LUIS OBISPO CA 93401



- 4. Public transportation and/or carpool options available in the area
- 5. Educational material on the positive impacts of an interior relative humidity between 30-60% and what methods an occupant may use to maintain the relative humidity level in that range.
- 6. Information about water-conserving landscape and irrigation design and controllers which conserve water
- 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5'0" away from the foundation
- 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building....etc.

(#) **Door ID** - Refer To Sheet A3.0

A Window ID - Refer To Sheet A3.1

Refer to Life Safetly Plans and

'E' sheets for locations and requirements.

9. Information about state solar energy and incentive programs available.

- Interior Elevation Reference Number | EXIT | Exit Sign

SYMBOL LEGEND

Sheet Number

Indicates Direction Of View

— Sheet Number

C O S - 4 0

10. A copy of all special inspection verifications required by the enforcing agency or this code.

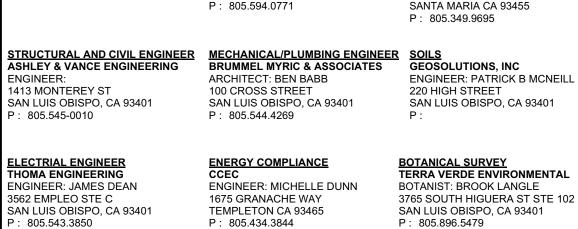
VICINITY MAP Mitchell D Lawrence Dr

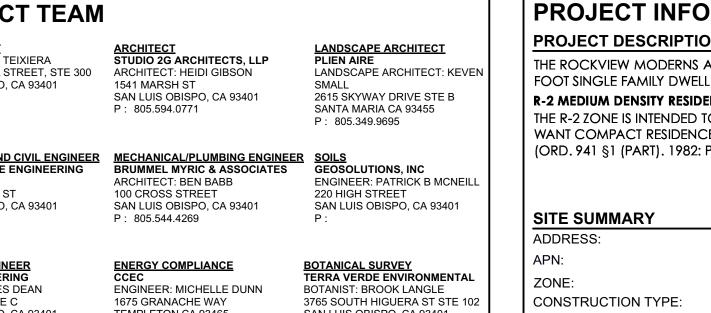
AGENCIES & UTILITIES				
CITY BUILDING COUNTY GOVERNMENT CTR. SAN LUIS OBISPO, CA 93401 805.781.5600		SBC / AT&T SERVICE CENTER 1.800.310.2355 (RESIDENTIAL) 1.800.750.2355 (BUSINESS)		
CITY PLANNING COUNTY GOVERNMENT CTR. SAN LUIS OBISPO, CA 93401 805.781.5600		PG & E 4325 HIGUERA STREET SAN LUIS OBISPO, CA 805.546.5247		
CITY HEALTH 2191 JOHNSON AVE. SAN LUIS OBISPO, CA	UNDERGROUND SERVICES 1.800.642.2444	THE GAS COMPANY BUILDER SERVICES 750 INDUSTRIAL WAY		

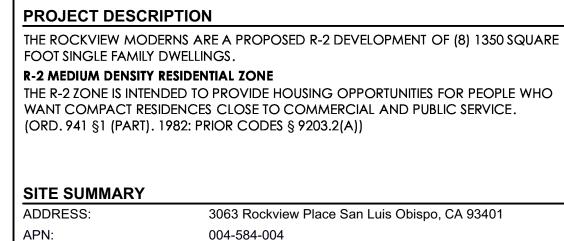
SAN LUIS OBISPO, CA 93401

1.818.700.3693

PROJECT TEAM LANDSCAPE ARCHITECT PLIEN AIRE OWNER / CLIENT CONTACT: KEVIN TEIXIERA ARCHITECT STUDIO 2G ARCHITECTS, LLP 755 SANTA ROSA STREET, STE 300 ARCHITECT: HEIDI GIBSON LANDSCAPE ARCHITECT: KEVEN SAN LUIS OBISPO, CA 93401 1541 MARSH ST 2615 SKYWAY DRIVE STE B SAN LUIS OBISPO, CA 93401 P: 805.594.0771 SANTA MARIA CA 93455 P: 805 349 9695 MECHANICAL/PLUMBING ENGINEER SOILS GEOSOLUTIONS, INC STRUCTURAL AND CIVIL ENGINEER ASHLEY & VANCE ENGINEERING ARCHITECT: BEN BABB **ENGINEER: PATRICK B MCNEILL** 1413 MONTEREY ST 100 CROSS STREET 220 HIGH STREET SAN LUIS OBISPO, CA 93401 SAN LUIS OBISPO, CA 93401 SAN LUIS OBISPO, CA 93401 : 805.545-0010 P: 805.544.4269





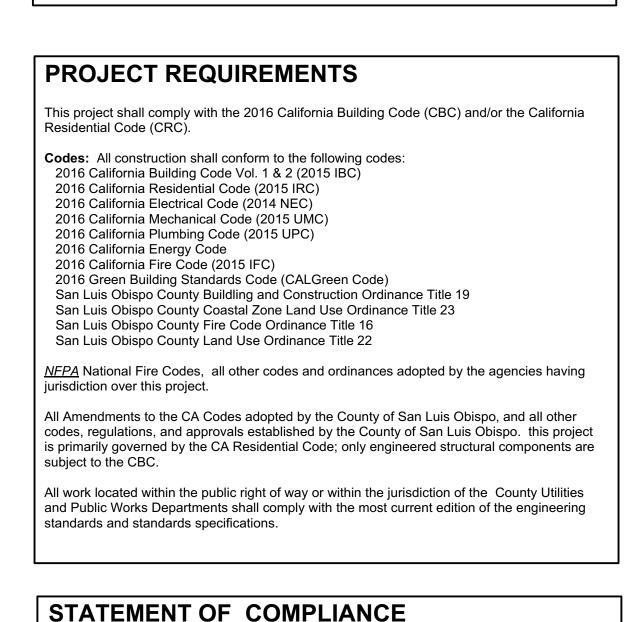


R-2

Type V

Zone 5



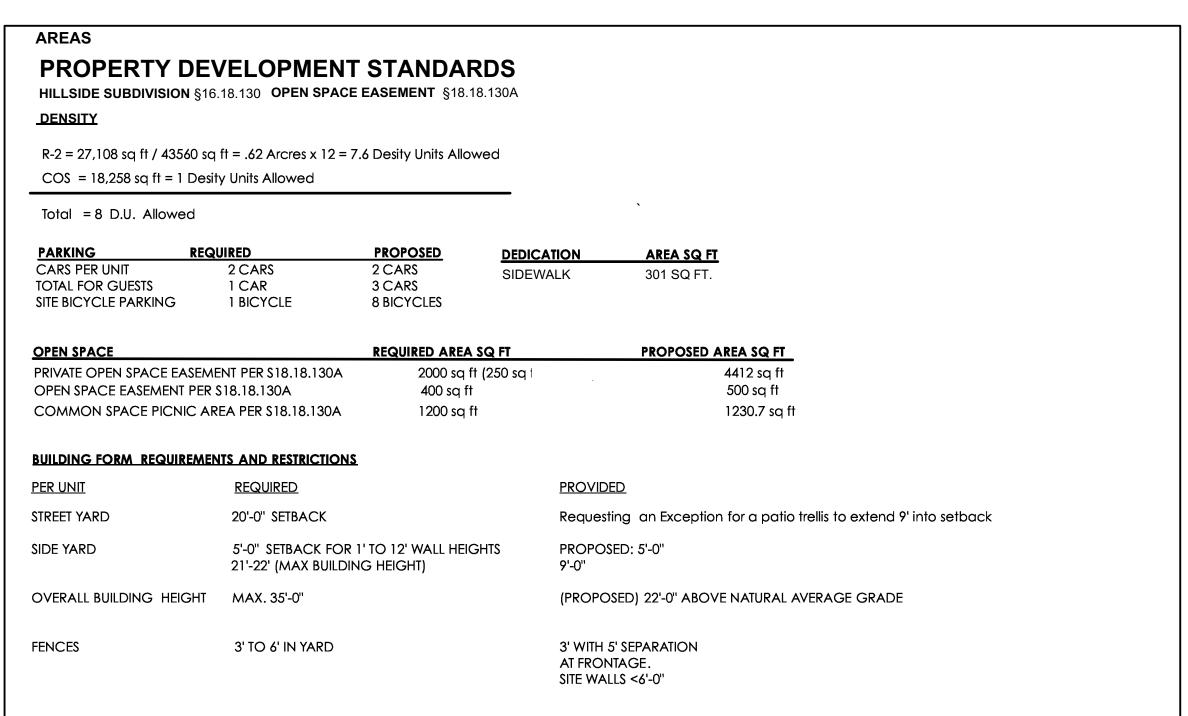


2016 California Residential Code (2015 IRC				
2016 California Electrical Code (2014 NEC 2016 California Mechanical Code (2015 UN		R-2 = 27,		
2016 California Plumbing Code (2015 UPC		COS = 1		
2016 California Energy Code	, ,			
2016 California Fire Code (2015 IFC)	0 0 1)	Total = 3		
2016 Green Building Standards Code (CAL San Luis Obispo County Buildling and Con-				
San Luis Obispo County Building and Cons San Luis Obispo County Coastal Zone Lan		PARKING		
San Luis Obispo County Fire Code Ordinar		CARS PER		
San Luis Obispo County Land Use Ordinar		TOTAL FO		
<u>NFPA</u> National Fire Codes, all other codes a jurisdiction over this project.	and ordinances adopted by the agencies having	SITE BICYC		
All Amendments to the CA Codes adopted by	the County of San Luis Obispo, and all other	OPEN SPA		
	d by the County of San Luis Obispo. this project	PRIVATE O		
	Code; only engineered structural components are	OPEN SPA		
subject to the CBC.		COMMON		
	or within the jurisdiction of the County Utilities with the most current edition of the engineering	BUILDING		
standards drid standards openinsations.		PER UNIT		
		STREET YAF		
STATEMENT OF COMPLIANCE				
		OVERALL I		
This project has been designed in accordance Adopted code and ordinance requirements in	OVERALL !			
	consible for all clarifications deemed necessary	FENCES		
 Signature	 Date	-		

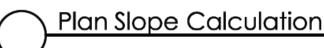
ZONE:

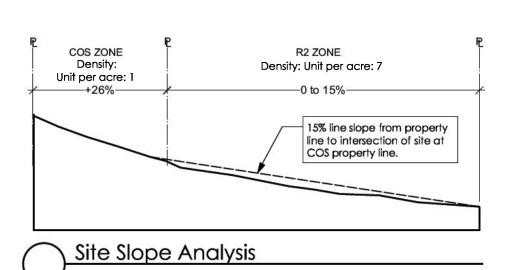
CONSTRUCTION TYPE:

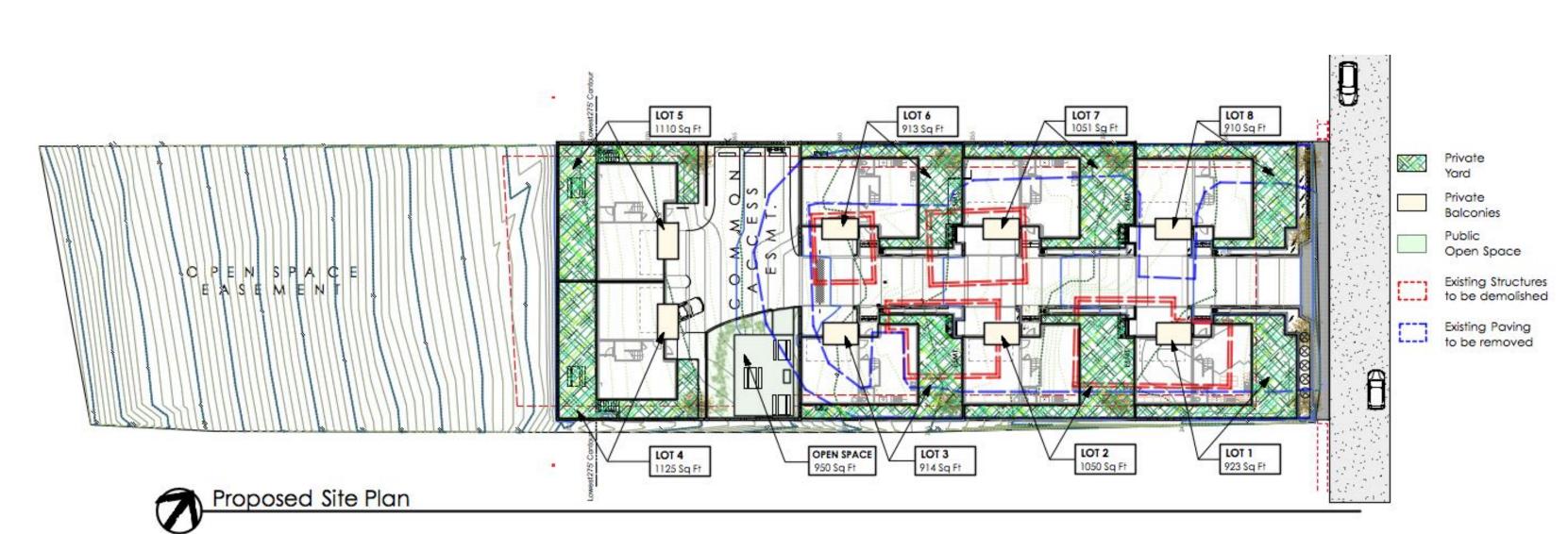
CLIMATE ZONE:











PERMITS & SPECIAL INSPECTIONS:

Structural Special Inspections: Refer to Structural Sheet

Green Point Rated Checklist Verification provided by Central Coast Energy Compliance.

SOILS REPORT

The geotechnical engineering report prepared by Geo Solutions, Inc for Rockview Moderns subdivision at 3063 Rockview Place San Luis Obispo CA 93401

> SHEET NUMBER TITLE SHEET © 2017 studio2G Architects, LLF

ODERN: V PLACE ROCKVIEW 3063 ROCKVI SAN LUIS OBISP APN: 004

San Luis Obispo, CA 93401

www.studio-2G.com

17OCT24 ARC SUBMITTA 18JAN24 TTM FINA

THE ROCKVIEW MODERNS

3063 ROCKVIEW PLACE SAN LUIS OBISPO, CA 93401

GOVERNING BUILDING CODES

ALL WORK, MATERIALS, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS THAT ARE CURRENTLY IN EFFECT:

2016 CALIFORNIA ADMINISTRATIVE CODE (CAC) TITLE 24, PART 1 CALIFORNIA CODE OF REGULATIONS (CCR).

2016 CALIFORNIA BUILDING CODE (CBC)

TITLE 24, PART 2 CCR BASED ON 2015 IBC AND 2016 CA AMENDMENTS, 2016 CALIFORNIA RESIDENTIAL CODE (CRC)

TITLE 24, PART 2.5 CCR BASED ON 2015 IRC AND 2016 CA AMENDMENTS

2016 CALIFORNIA ELECTRICAL CODE (CEC) TITLE 24, PART 3 CCR BASED ON 2014 NATIONAL ELECTRICAL CODE (NEC)

2016 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24, PART 4 CCR BASED ON 2015 UNIFORM MECHANICAL CODE (UMC),

2016 CALIFORNIA PLUMBING CODE (CPC)

TITLE 24, PART 5 CCR BASED ON 2015 UNIFORM PLUMBING CODE (UPC), 2016 CALIFORNIA ENERGY CODE (CENC)

TITLE 24, PART 6 CCR,

2016 CALIFORNIA FIRE CODE (CFC)

TITLE 24, PART 9 CCR BASED ON 2015 IFC,

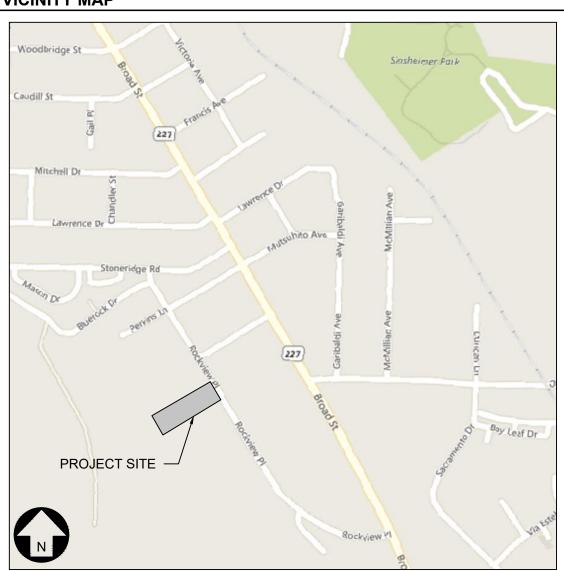
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)

TITLE 24, PART 11 CCR AND 2016 CA AMENDMENTS, 2016 CALIFORNIA REFERENCE STANDARDS CODE

TITLE 24, PART 12 CCR,

2014 COUNTY OF SAN LUIS OBISPO CONSTRUCTION AND FIRE CODES.

VICINITY MAP



PROJECT INFORMATION

TEIXEIRA CAPITAL PARTNERS III LLC CLIENT:

755 SANTA ROSA, SUITE 300 SAN LUIS OBISPO, CA 93401

ARCHITECT: STUDIO 2G ARCHITECTS, LLP 1540 MARSH STREET, SUITE 230

SAN LUIS OBISPO, CA 93401 GEOSOLUTIONS, INC.

PATRICK MCNEILL 220 HIGH STREET

SAN LUIS OBISPO, CA 93401

SURVEYOR: JON McKELLAR

2605 SOUTH MILLER ST SUITE 107 SANTA MARIA, CA 93455

004-584-004

0.89 AC 0.63 AC

AREA DISTURBED:

GRADING INFORMATION*

CUT QUANTITY: 2,900 CUBIC YARDS FILL QUANTITY: 600 CUBIC YARDS 2,300 CUBIC YARDS EXPORT NET QUANTITY:

*NOTE: THE ABOVE QUANTITIES ARE FOR PLANNING AND PERMITTING PURPOSE PROPOSED FINISHED GRADES OR PAVEMENT SUBGRADES, AS INDICATED ON THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH

MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.

WATER SERVICE

STORM DRAINAGE

PROPOSED STRUCTURE

CONSTRUCTION ENTRANCE

INVERT ELEVATION

LANDSCAPE AREA

NATURAL GRADE

PLANTER AREA

PROPERTY LINE

PARKING STRIPE

RIGHT OF WAY

STORM DRAIN

SANITARY SEWER

TOP OF FOOTING

CONCRETE

PORTLAND CEMENT

POINT OF CONNECTION

POLYVINYL CHLORIDE

SUB-GRADE ELEVATION

TOP OF CURB, CONCRETE

SANITARY SEWER

POWER ELECTRICAL

DITCH / FLOWLINE

GRADING LIMIT

PROPERTY LINE

SETBACK LINE

PROPOSED ROOF LINE -----

PROPOSED RETAINING WALL

STORMDRAIN INLET PROTECTION

DIG ALERT



PRIOR TO COMMENCING OF ANY EXCAVATION, DIGGING, POT HOLING, ETC. CALL DIG ALERT FOR ASSIGNMENT OF AN INQUIRY ID NUMBER, BECAUSE NO EARTH WORK SHALL COMMENCE UNLESS THE CONTRACTOR HAS OBTAINED THIS AND EACH UTILITY OR OWNER OF SUBSURFACE FACILITIES HAS LOCATED AND MARKED THEIR SUBSURFACE FACILITIES IN THE AREA

SHEET INDEX

SHEET	SHEET TITLE
C-0.1	TITLE SHEET
C-0.2	NOTES SHEET
C-2.1	GRADING AND DRAINAGE PLAN
C-3.1	UTILITY PLAN
C-4.1	DETAIL SHEET
C-5.1	EROSION CONTROL PLAN
C-5.2	EROSION CONTROL DETAILS

SURVEY NOTES

EXISTING SURVEY INFORMATION FROM PLAN PREPARED BY JON McKELLAR DATED MAY 2017.

BASIS OF BEARINGS: BASIS OF BEARINGS IS THE CENTERLINE OF ROCKVIEW

BENCHMARK: THE LOCAL BENCHMARK IS THE MONUMENT LOCATED IN THE TOP OF

THE WESTERLY CURB NEAR THE INTERSECTION OF ROCKVIEW PLACE AND SWEENEY, (BM #345)

1. SURVEY INFORMATION IN THIS PLAN SET IS NOT A BOUNDARY SURVEY.

PROPERTY LINES, SETBACKS, AND EASEMENT INFORMATION SHOWN IS FOR

CONFIRM BENCHMARK DATA AND CONDITION WITH PROJECT SURVEYOR PRIOR TO USE. THE SURVEYOR MUST PROVIDE THE ENGINEER WITH THE SURVEY CONTROL NOTES, CONTROL COORDINATES, AND SURVEY NOTES.

SURVEY MONUMENT PROTECTION:

ELEVATION 243.41', NAVD 88

PROTECT AND PRESERVE, IN PLACE, ALL SURVEY MONUMENTS AND BENCHMARKS. DO NOT DISTURB, MOVE, OR RELOCATE MONUMENTS OR BENCHMARKS WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE AGENCY HAVING JURISDICTION OVER THE MONUMENT OR BENCHMARK. THE CONTRACTOR SHALL CONTRACT WITH A LICENSED SURVEYOR FOR MONUMENTS REQUIRING DISTURBANCE OR REMOVAL, AND THE SURVEYOR SHALL RESET THE MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE AUTHORITY HAVING JURISDICTION, PURSUANT TO ALL APPLICABLE BUSINESS AND PROFESSIONAL CODES.

UTILITY PURVEYORS

ELECTRICITY: P G & E COMPANY

406 HIGUERA ST SAN LUIS OBISPO, CA 93401

805-743-5000

NATURAL GAS: SOUTHERN CALIFORNIA GAS COMPANY

P.O. BOX C

MONTEREY PARK, CA 91756 (800)-427-2200

TELEPHONE: A T & T

994 MILL ST. SAN LUIS OBISPO, CA 93402

1-800-750-2355

CABLE TV: 7775 SAN LUIS AVE.

ATASCADERO, CA 93422

UTILITIES DEPARTMENT

879 MORRO ST SAN LUIS OBISPO, CA 93401

CENTERLINE CONCRETE MASONRY UNIT CHARTER COMMUNICATIONS CONCRETE DRIVEWAY

WATER/SEWER: CITY OF SAN LUIS OBISPO

END CURB RETURN **EXISTING GRADE**

EDGE OF PAVEMENT END VERTICAL CURVE

STANDARD ABBREVIATIONS

BUILDING

ASPHALTIC CONCRETE

BEGIN CURB RETURN

BOTTOM OF WALL

CATCH BASIN

BEGIN VERTICAL CURVE

FINISHED FLOOR FINISHED GRADE FIRE HYDRANT

TG TOP OF GRATE FLOW LINE FINISHED SURFACE

TOP OF WALL VERTICAL CURVE GRADE BREAK

P/L

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0 0

Phone Ext.: 226 Proj. Engr.: Proj. Mngr.: квв Phone Ext.: 119 Scale: PER PLAN Date: 05.03.2018

A&V Job No.: 17110

TITLE SHEET

GENERAL GRADING NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN LUIS OBISPO AND THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
- STORMWATER POLLUTION PREVENTION REQUIREMENTS PER CITY OF SAN LUIS OBISPO AND SWRCB. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN
- BEFORE BEGINNING WORK, CONTRACTOR SHALL CONFIRM WITH AGENCIES HAVING JURISDICTION THAT ALL REQUIRED PERMITS AND LICENSES HAVE BEEN OBTAINED AND ALL REQUIRED NOTICES
- MAY BE PART OF THIS PROJECT, INCLUDING ARCHITECTURAL AND LANDSCAPE ARCHITECTURAL IMPROVEMENTS. ADDITIONAL PERMITS MAY BE REQUIRED.
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK AND INTERFACING IMPROVEMENTS WITH WORK BY OTHER CONTRACTORS AT THIS JOB SITE AND WITH IMPROVEMENTS
- B. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR BUILDING AND SITE LAYOUT
- C. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR SITE DEVELOPMENT CONSTRUCTION DETAILS AND DIMENSIONING, INCLUDING THOSE FOR BUILDINGS, PATIOS, WALKWAYS, DRIVEWAYS, WALLS/FENCES, PLUMBING, ELECTRICAL,
- ALL SITE WORK AND TESTING SHALL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS
- A. PREPARED BY: GEOSOLUTIONS, INC., FILE NUMBER: SL09755-1, DATE: JULY 7, 2017.
- B. THIS REPORT AND ANY ADDENDA SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT IN THEIR ENTIRETY HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE APPLICABLE GEOTECHNICAL REPORTS. CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER TO OBTAIN OR REVIEW COPIES OF THESE REPORTS AND ADDENDA.
- . PRIOR TO BIDDING, CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER TO DETERMINE THE LOCATION AND DEPTH OF ALL TEST BORINGS AND EXPLORATORY PITS AND EXCAVATIONS. CONTRACTOR SHALL DETERMINE FROM THE GEOTECHNICAL ENGINEER WHAT REMEDIAL WORK IS RECOMMENDED TO MAKE THESE DISTURBED LOCATIONS SUITABLE FOR THE PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INCLUDE IN HIS BID ALL COSTS FOR THE RECOMMENDED REMEDIAL WORK AND SHALL ADJUST HIS OPERATIONS TO PROPERLY SEQUENCE THE WORK TO ACCOMMODATE REMEDIAL WORK WITH CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE HEALTH AND SAFETY LAWS, ORDINANCES, REGULATIONS, RULES, AND STANDARDS INCLUDING ALL REQUIREMENTS OF STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND OSHA.
- ALL UNSUITABLE CONSTRUCTION MATERIALS AND RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE JOB SITE; TRANSPORTED TO A SUITABLE LOCATION, AND DISPOSED OF IN A PROPER AND LEGAL
- 0. ALL WORK INVOLVING EXCAVATION, INCLUDING THAT FOR WATER, SEWER, STORM DRAIN AND UTILITY CONDUITS AND ALL SERVICE CONNECTIONS AND METER BOXES (NOT PERMITTED IN DRIVEWAYS) SHALL BE COMPLETED AND OBSERVED AND APPROVED BY THE AGENCY HAVING JURISDICTION AND THE STRUCTURAL BACKFILL OBSERVED AND TESTED FOR COMPACTION AND APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE AGGREGATE BASE, PAVING AND OTHER PERMANENT SURFACE
- BEFORE COMMENCING EXCAVATION, CONTRACTOR SHALL CONTACT PUBLIC WORKS AND UTILITY COMPANIES OR OTHER OWNERS OF SUBSURFACE FACILITIES WITHIN THE WORK SITE AND SHALL VERIFY WHETHER OR NOT A REPRESENTATIVE WILL BE PRESENT BEFORE AND/OR DURING EXCAVATION, AND SHALL DETERMINE SITE SPECIFIC REQUIREMENTS FOR EXCAVATION.
- . CONTRACTOR SHALL NOTIFY PUBLIC WORKS, BUILDING AND SAFETY, UTILITY COMPANIES, GEOTECHNICAL ENGINEER. AND ENGINEER OF RECORD. AT LEAST 48 HOURS BEFORE START OF ANY CONSTRUCTION AND OF THE TIME AND LOCATION OF PRE-CONSTRUCTION CONFERENCE, AND SHALL DETERMINE FROM EACH PARTY THEIR SCOPE OF WORK TO BE OBSERVED AND BY WHOM, AND SCOPE OF TESTING. DURING THE COURSE OF WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR OBSERVATION AND TESTING AS STIPULATED PURSUANT TO ABOVE DETERMINATIONS. WORK NOT OBSERVED AND TESTED WILL BE SUBJECT TO REJECTION.
- 3. CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SUCH SHEETING, SHORING, BRACING, AND/OR OTHER PROTECTION AS IS NECESSARY TO PREVENT FAILURE OF TEMPORARY EXCAVATIONS AND EMBANKMENTS AND TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TEMPORARY IMPROVEMENTS, AND PARTIALLY COMPLETED PORTIONS OF THE WORK, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SUFFICIENCY OF SUCH SUPPORTS AND/OR OTHER PROTECTION PER ALL REQUIREMENTS OF STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND OSHA.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER OF RECORD AND AUTHORITY HAVING JURISDICTION BY TELEPHONE AND IN WRITING UPON DISCOVERY OF AND BEFORE DISTURBING ANY PHYSICAL CONDITIONS DIFFERING FROM THOSE REPRESENTED BY APPROVED PLANS AND
- 5. CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES OF CONSTRUCTION FROM THAT SHOWN ON THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING A BASIS FOR CONSTRUCTION OF RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF ENGINEER OF RECORD AND AUTHORITY HAVING JURISDICTION, UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL DELIVER THIS RECORD OF ALL CONSTRUCTION CHANGES TO ENGINEER ALONG WITH A LETTER WHICH DECLARES THAT, OTHER THAN THESE NOTED CHANGES, "THE PROJECT WAS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS." WARNING: ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR,
- UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY PREPARER.
- . CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ALL LIABILITY AND CLAIMS, REAL OR ALLEGED. IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT AND ACCEPTS LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONALS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL AND SAFETY AND SHALL FURNISH. INSTALL. AND MAINTAIN SUCH FENCING. SIGNS. LIGHTS. TRENCH PLATES, BARRICADES, AND/OR OTHER PROTECTION AS IS NECESSARY FOR SAID CONTROL AND
- 3. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY AT OR IN THE VICINITY OF THE JOB SITE AND FURTHER AGREES TO. AT CONTRACTOR'S EXPENSE, REPAIR OR REPLACE TO ORIGINAL CONDITION, ALL EXISTING IMPROVEMENTS WITHIN OR IN THE VICINITY OF THE JOB SITE WHICH ARE NOT DESIGNATED FOR

- 1. GRADING SHALL BE IN CONFORMANCE WITH RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER DURING OBSERVATION AND TESTING OF SITE DEMOLITION, PREPARATION, GRADING, AND DEVELOPMENT WORK. FOR ANY CONFLICT BETWEEN THESE PLANS AND THE RECOMMENDATIONS AND/OR SPECIFICATIONS OF THE GEOTECHNICAL ENGINEER, THE MORE STRINGENT PROVISION SHALL GOVERN.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION (EXCEPT TREES INDICATED TO REMAIN), INCLUDING ROOTS AND ROOT STRUCTURES, OTHER ORGANIC MATERIAL, DEBRIS, NON-COMPLYING FILL, AND OTHER MATERIAL UNSUITABLE FOR SUPPORT OF FILL AND/OR PROPOSED IMPROVEMENTS. AS RECOMMENDED BY AND UNDER THE OBSERVATION AND TESTING OF THE GEOTECHNICAL ENGINEER. CALL THE INSPECTOR FOR INITIAL INSPECTION.
- ALL UNSUITABLE SOIL MATERIALS AND RUBBISH AND DEBRIS RESULTING FROM DEMOLITION AND GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE; TRANSPORTED TO A SUITABLE LOCATION AND DISPOSED OF IN A PROPER AND LEGAL MANNER.
- 4. AREAS TO RECEIVE FILL MATERIAL AND AREAS TO RECEIVE BUILDINGS, EXTERIOR SLABS, WALKWAYS, WALLS, PAVEMENT AND OTHER STRUCTURAL IMPROVEMENTS SHALL BE PREPARED AS RECOMMENDED BY AND UNDER THE OBSERVATION AND TESTING OF THE GEOTECHNICAL ENGINEER. RECOMMENDATIONS FOR OVER EXCAVATION, ADDITIONAL SCARIFICATION, BACKFILL AND RECOMPACTION ARE CONTAINED IN THE PROJECT GEOTECHNICAL REPORT REFERENCED IN THE GENERAL NOTES ON THESE PLANS.
- 5. PRIOR TO PLACEMENT OF FILL AND BACKFILL MATERIAL, THE PREPARED AREA SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR. THE GEOTECHNICAL ENGINEER SHALL ALSO OBSERVE THE AREAS TO BE FILLED. ALLOW A MINIMUM 48-HOUR NOTICE. FILL AND BACKFILL PLACED ON THE PREPARED AREA WITHOUT THE REQUIRED OBSERVATION SHALL BE REMOVED.
- 6. ALL FILL MATERIAL, WHETHER EXCAVATED ON-SITE OR IMPORTED FROM OFF-SITE, SHALL BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. IMPORTED FILL MATERIAL SHALL BE EQUAL TO OR BETTER IN QUALITY THAN THE ON-SITE SOILS AND SHALL CONFORM TO THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL TEST AND APPROVE THE SOIL PROPOSED FOR IMPORT FOR STRUCTURAL FILL PRIOR TO IMPORTATION TO THE SITE. THE LANDSCAPE ARCHITECT AND THE GEOTECHNICAL ENGINEER SHALL TEST AND APPROVE THE SOIL PROPOSED FOR IMPORT FOR LANDSCAPE AREA SURFACE MATERIAL PRIOR TO IMPORTATION TO THE SITE.
- CONTRACTOR SHALL REFER TO THE FOLLOWING AS APPLICABLE:
- ARCHITECT'S PLANS FOR ADDITIONAL GRADING REQUIREMENTS IN BUILDING AREAS. - LANDSCAPE ARCHITECT'S PLANS FOR TREE PRESERVATION REQUIREMENTS AND FOR SUBGRADE ALLOWANCES IN LANDSCAPE AREAS - PUBLIC IMPROVEMENT PLANS FOR INTERFACING WITH PUBLIC GRADING, PAVING, STORM DRAINAGE AND UTILITY IMPROVEMENTS.
- 8. WHERE PLANTER AREAS ARE SHOWN ON THE PLANS ADJACENT TO BUILDINGS AND ARE CONTAINED BY WALKS / FLATWORK LESS THAN 8" BELOW BOTTOM OF SILL PLATE OR WHERE ADJACENT FINISH GRADE OUTSIDE A BUILDING IS SHOWN TO BE LESS THAN 8" BELOW BOTTOM OF SILL PLATE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT BUILDING PLANS CALL FOR APPROPRIATE DAMPPROOF OR WATERPROOF CONSTRUCTION AND IS CONSTRUCTED IN ACCORDANCE WITH ALL BUILDING APPLICABLE CODE REQUIREMENTS.
- 9. PLAN ELEVATIONS SHOWN ON SOIL AND LANDSCAPED AREAS ARE FINISH GRADE (FINISH SURFACE) ELEVATIONS INTENDED TO ESTABLISH SURFACE DRAINAGE CONTROL FOR THESE AREAS. DURING GRADING OPERATIONS THICKNESSES (SUBGRADE ALLOWANCES) SPECIFIED BY LANDSCAPE ARCHITECT FOR TURF, WOOD CHIPS, MULCH, ETC. SHALL BE SUBTRACTED FROM THESE ELEVATIONS TO ESTABLISH FINISH SUBGRADE.
- BEFORE PLACEMENT OF AGGREGATE BASE OR SUBBASE MATERIAL IN PAVEMENT AREAS, THE SUBGRADE SOIL SHALL BE REVIEWED AND TESTED BY THE GEOTECHNICAL ENGINEER. DURING PAVING OPERATIONS, STRUCTURAL SECTION COMPACTION SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER.
- 11. QUALITY REVIEW AND REPORTING REQUIREMENTS.
- A. GRADING AND IMPROVEMENTS FOUND NOT IN CONFORMANCE WITH APPROVED PLANS AND DESIGN INTENT SHALL BE CORRECTED BY CONTRACTOR AT CONTRACTOR'S EXPENSE. ADDITIONAL SURVEYING TO CONFIRM ELEVATIONS AFTER CORRECTIVE MEASURES SHALL ALSO BE AT CONTRACTOR'S EXPENSE.
- REQUIREMENTS FOR VARIOUS SURFACING CONDITIONS ARE AS FOLLOWS:
- DIRT: NOT LESS THAN 2% (1/4" PER FOOT) SLOPE IN DIRECTION OF SURFACE DRAINAGE AND 0.10. FOOT MAXIMUM DEVIATION FROM DESIGN ELEVATION AT ANY LOCATION
- A.C. PAVEMENT: NOT LESS THAN 1% (1/8 INCH PER FOOT) SLOPE IN DIRECTION OF SURFACE DRAINAGE AND 0.04 FOOT MAXIMUM DEVIATION FROM DESIGN ELEVATION AT ANY LOCATION
- CONCRETE: NOT LESS THAN 0.5% (1/16 INCH PER FOOT) SLOPE IN DIRECTION OF SURFACE DRAINAGE AND 0.02 FOOT MAXIMUM DEVIATION FROM DESIGN ELEVATION AT ANY LOCATION UNLESS NOTED OTHERWISE ON PLANS.

TRENCHING AND BACKFILL NOTES:

- 1. ALL TRENCHING, BEDDING AND BACKFILL MATERIAL AND CONSTRUCTION, SHALL BE IN ACCORDANCE WITH THESE PLANS INCLUDING THE PIPE TRENCH DETAIL.
- TRENCH OR STRUCTURE EXCAVATION SUBGRADE SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BEDDING MATERIAL OR FORMS. WET OR UNSTABLE SOIL ENCOUNTERED IN THE BOTTOM OF THE EXCAVATION AND DEEMED BY THE GEOTECHNICAL ENGINEER TO BE INCAPABLE OF PROPERLY SUPPORTING THE PIPE OR STRUCTURE BEING CONSTRUCTED. SHALL BE REMOVED TO THE DEPTH RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND THE EXCAVATION BACKFILLED TO THE BOTTOM OF THE PIPE OR STRUCTURE GRADE WITH SUITABLE MATERIAL RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER TO PROVIDE DRY CONDITIONS DURING CONSTRUCTION OF PIPE OR STRUCTURE.

WATER ENCOUNTERED IN TRENCH OR STRUCTURE EXCAVATION SHALL BE REMOVED BY THE

- 4. BEDDING AND BACKFILL MATERIAL AND COMPACTED DENSITY, SHALL BE TESTED FOR COMPLIANCE WITH APPLICABLE REQUIREMENTS BY THE GEOTECHNICAL ENGINEER.
- 5 BEDDING AND PIPE ZONE BACKELLI MATERIAL SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DENSITY. TRENCH BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM DENSITY. THE UPPER 12" BELOW THE BASE OR SUB-BASE COURSE IN PAVED AND OTHER TRAFFIC AREAS AND BELOW THE CONCRETE OR SAND COURSE IN WALKWAY AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DENSITY. BACKFILL COMPACTION SHALL BE TESTED FOR COMPLIANCE WITH THESE REQUIREMENTS IN ACCORDANCE WITH ASTM D-1557, LATEST REVISION, AND REPORTED BY THE GEOTECHNICAL ENGINEER.
- 6. CLASS I OR CLASS II (TRENCH) BACKFILL SHALL NOT BE PLACED UNTIL BEDDING AND INITIAL (PIPE ZONE) BACKFILL HAVE BEEN OBSERVED, TESTED AND APPROVED.
- 7. COMPACTION BY FLOODING OR JETTING IS NOT PERMITTED.

IRREGULARITY ALONG THE CONFORM LINE.

- 8. CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT(S), THE PROJECT WORK AREA AND VICINITY, AND SHALL FAMILIARIZE HIMSELF WITH THE WORK AREA CONDITIONS. CONTRACTOR SHALI MAKE HIS OWN DEDUCTIONS AND CONCLUSIONS AS TO HOW EXISTING SURFACE AND SUB-SURFACE CONDITIONS WILL AFFECT OR BE AFFECTED BY HIS CONSTRUCTION OPERATIONS, INCLUDING THE NATURE OF MATERIALS TO BE EXCAVATED. THE DEGREE OF DIFFICULTY ASSOCIATED WITH MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DEGREE OF DIFFICULTY WHICH MAY ARISE FROM SUBSURFACE CONDITIONS INCLUDING GROUNDWATER, AND SHALL ACCEPT FULL
- RESPONSIBILITY THEREOF. 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE INTEGRITY OF EXISTING PAVEMENT ALONG AND BEHIND THE TRENCH SAWCUT LINES DURING CONSTRUCTION. IF THIS PAVEMENT IS BROKEN-OFF OR OTHERWISE DAMAGED BEFORE NEW PAVEMENT IS PLACED, CONTRACTOR SHALL SAWCUT A NEW CONFORM LINE PARALLEL WITH, FULL LENGTH OF, AND SUFFICIENT DISTANCE (1-FOOT MINIMUM) BEHIND ORIGINAL SAWCUT SO AS TO REMOVE DAMAGED PAVEMENT AND / OR

DEMOLITION NOTES:

- THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY THE AVAILABLE RECORDS PROVIDED. THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES, NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES PRIOR TO WORK OR POTHOLE TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OR PROTECTION OF ALL EXISTING UTILITY LINES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF THE SITE AND SHALL REMOVE AND DISPOSE OF ALL STRUCTURES ABOVE AND OR BELOW GROUND UNLESS NOTED OTHERWISE. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE HANDLED AND REMOVED AS REQUIRED BY LOCAL AND/OR STATE LAWS AT NO COST TO THE OWNER.
- 3. THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DAMAGE TO EXISTING HARDSCAPE IMPROVEMENTS, UTILITY FACILITIES, AND LANDSCAPING FEATURES THAT ARE NOT AFFECTED BY
- ALL JOIN LINES SHALL BE SAWCUT ON A NEAT, STRAIGHT LINE PARALLEL WITH THE JOIN. THE CUT EDGE SHALL BE PROTECTED FROM CRUSHING, AND ALL BROKEN EDGES SHALL BE RE-CUT PRIOR TO
- 5. ALL EXISTING OBJECTIONABLE MATERIALS THAT CONFLICT WITH PROPOSED IMPROVEMENTS INCLUDING BUT NOT LIMITED TO BUILDING FOUNDATIONS UTILITIES APPURTENANCES TREES SIGNS, STRUCTURES, ETC. SHALL BE REMOVED AND DISPOSED BY THE CONTRACTOR AT NO COST TO THE OWNER, UNLESS NOTED OTHERWISE HEREIN, OR AS DIRECTED BY THE CONSTRUCTION
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STREETS FROM DAMAGES CAUSED BY HIS OPERATIONS. ANY CURBS DAMAGED DURING HIS OPERATIONS SHALL BE SAWCUT AND REPLACED AT NO COST TO THE OWNER. ANY EXISTING PAVING IDENTIFIED AS POTENTIALLY NEEDING TO BE REPLACED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PERFORM AND BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING OPERATIONS AS NECESSARY TO COMPLETE THE WORK, INCLUDING TRANSPORTATION AND DISPOSAL 9. OF ALL REMOVED MATERIALS, AND ALL ASSOCIATED COSTS.

STORM DRAIN NOTES

- ALL PRIVATE STORM DRAIN MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, INCLUDING THE PIPE TRENCH DETAIL.
- 2. CONTRACTOR SHALL SCHEDULE STORM DRAIN WORK AHEAD OF OTHER UNDERGROUND CONDUIT CONSTRUCTION.
- GRAVITY STORM DRAIN WORK SHALL BEGIN AT THE LOWEST POINT OF DISCHARGE AND PROCEED UPSTREAM.
- 4. POLYVINYL CHLORIDE (PVC) PIPE FOR 4" THROUGH 15" SIZE SHALL COMPLY WITH THE MOST RECENT ISSUE OF ASTM STANDARD D-3034 (SDR 35). PVC PIPE SHALL HAVE AN INTEGRALLY MOLDED BELL OR SOCKET END FOR GASKETED JOINT ASSEMBLY. JOINTS AND GASKETS SHALL COMPLY WITH THE MOST RECENT ISSUE OF ASTM STANDARD D-3212 AND F-477, RESPECTIVELY, PVC PIPE INSTALLATION SHALL COMPLY WITH UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD UNI-B-5, LATEST REVISION. PVC PIPE CONNECTIONS TO MANHOLES, CATCH BASINS AND OTHER CONCRETE STRUCTURES SHALL BE CONSTRUCTED WITH WATERSTOP AT MIDPOINT OF STRUCTURE WALL PENETRATION. WATERSTOP SHALL BE PVC CONCRETE MANHOLE ADAPTER (4" THROUGH 12" PIPE) OR LARGE DIAMETER WATERSTOP AS MANUFACTURED BY FERNCO, OR EQUIVALENT APPROVED BY THE ENGINEER.
- HIGH DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS FOR 4" THROUGH 48" SIZE SHALL BE N-12PROLINK WT (WATERTIGHT) SERIES AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS). UNLESS NOTED OTHERWISE. LATERAL CONNECTIONS TO MAINLINES SHALL BE MADE USING MANUFACTURER'S WATERTIGHT REDUCING FITTINGS. PIPE AND FITTING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES. CONNECTIONS TO CONCRETE STRUCTURES SHALL BE CONSTRUCTED WATERTIGHT USING MANUFACTURER'S RECOMMENDED MATERIALS AND METHODS.
- 6. GRATED CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN DETAIL SHOWN
- QUALITY REVIEW AND REPORTING MEASUREMENTS.
- A. CONTRACTOR SHALL REQUEST INSPECTION BY ENGINEER OF WORK AFTER INSTALLATION AND ASSEMBLY OF STORM DRAINAGE PIPING, BUT BEFORE COVERING.
- B. CONTRACTOR SHALL REQUEST INSPECTION BY ENGINEER OF WORK AFTER FORMING AND PLACING REINFORCING STEEL FOR CAST-IN-PLACE DRAINAGE STRUCTURES, BUT BEFORE SCHEDULING THE
- C. WITHIN TEN (10) WORKING DAYS OF COMPLETION OF THE STORM DRAIN SYSTEM AND BEFORE CONSTRUCTION OF PAVEMENT, WALKWAYS AND OTHER PERMANENT SURFACE IMPROVEMENTS, CONTRACTOR SHALL PROVIDE A CONSTRUCTION RECORD DRAWING OF THE SYSTEM TO INCLUDE TOP OF GRATE OR COVER AND INLET AND OUTLET INVERT ELEVATIONS OF ALL STORM DRAIN STRUCTURES. ELEVATION MEASUREMENTS SHALL BE ACCURATE TO 0.01 FEET
- D. UPON COMPLETION OF CONSTRUCTION OF THE STORM DRAIN SYSTEM AND WITH 48 HOURS NOTICE TO ENGINEER OF WORK, CONTRACTOR SHALL THOROUGHLY CLEAN AND WASH DOWN ALL INLETS AND STORM DRAIN PIPING USING FIRE HYDRANT FLOWS.

SEWER NOTES:

- 1. ALL PUBLIC SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND WITH THE PROJECT SPECIFIC AND STANDARD REQUIREMENTS AND STANDARD DRAWINGS OF THE GOVERNING AGENCY.
- 2. ALL PRIVATE SEWER MATERIALS AND CONSTRUCTION, INCLUDING BUILDING SEWERS, SHALL COMPLY WITH THE UNIFORM PLUMBING CODE, CURRENT EDITION, AND WITH THE GOVERNING AGENCY CODE.
- 3. ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF CRITERIA FOR SEPARATION OF WATER MAINS AND SANITARY SEWERS.
- 4. GRAVITY SEWER CONSTRUCTION SHALL BEGIN AT THE LOWEST POINT OF DISCHARGE AND PROCEED UPSTREAM.
- CONTRACTOR SHALL MAINTAIN RECORDS OF THE EXACT LOCATIONS AND DEPTHS OF ALL SEWER MANHOLES CLEANOUTS, MAIN STUBS, AND LATERALS FOR THE PURPOSE OF PROVIDING A BASIS FOR CONSTRUCTION-RECORD DRAWINGS. SAID RECORD SHALL BE DELIVERED TO THE DEVELOPER'S ENGINEER PRIOR TO ACCEPTANCE OF THE WORK BY THE GOVERNING AGENCY.
- 6. ALL SEWER MANHOLE AND CLEAN-OUT RIMS SHALL BE ADJUSTED TO FINISH GRADE IN PAVED AREAS.

OWNER'S RESPONSIBILITIES:

CITY OF SAN LUIS OBISPO GENERAL NOTES:

THE ENGINEERING STANDARDS AND STANDARD SPECIFICATION.

ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE

WITHIN CITY FASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN

FIRE SERVICE LATERALS, CURB, GUTTER, SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK

NOTICE FOR ANY REQUIRED ENCROACHMENT PERMIT INSPECTION OF FINAL INSPECTION.

DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ENCROACHMENT PERMIT ISSUANCE

5. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS OR TRENCHING GREATER THAN 5 FEET IN

DEPTH. A COPY OF THE ANNUAL, PROVISIONAL, OR TEMPORARY PERMIT SHALL BE PROVIDED TO THE

BUILDING DIVISION PRIOR TO BUILDING, UTILITY, AND/OR GRADING PERMIT ISSUANCE IF APPLICABLE.

ENCROACHMENT PERMITS WILL NOT BE ISSUED NOR WILL NEW WORK BE AUTHORIZED IN THE PUBLIC

METERED PARKING SPACES DISPLACED DURING CONSTRUCTION ARE LIMITED TO TWO SPACES AND

SHALL BE PAID FOR BY THE CONTRACTOR, OWNER, OR OPERATOR AT THE CURRENT RATE OF \$20.00

PER METER PER DAY. PARKING BAGS ARE AVAILABLE FROM THE PARKING DIVISION LOCATED AT 1260

CONTRACTOR AND SHALL INCLUDE PERTINENT CITY STAFF. AS A MINIMUM, THE ASSIGNED BUILDING

INSPECTOR AND PUBLIC WORKS INSPECTOR SHALL BE INCLUDED IN THIS MEETING TO DISCUSS THE

THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE

PUBLIC WORKS DIRECTOR PRIOR TO FINAL INSPECTION APPROVALS AND/OR OCCUPANCY OF ANY

10. ANY SECTIONS OF DAMAGED OR DISPLACED CURB, GUTTER, SIDEWALK OR DRIVEWAY APPROACH

SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.

ABANDONMENT POLICY. THIS POLICY STATES THAT ALL SEWER LATERALS SHALL BE ABANDONED AT

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED TO THE SATISFACTION OF

THE BUILDING OFFICIAL AND PUBLIC WORKS DIRECTOR DURING ALL DEMOLITIONS. CONSTRUCTION

ALL DISTURBED SURFACE SLOPES, SLOPED FOUR HORIZONTAL TO ONE VERTICAL (4:1) AND GREATER

AND AREAS USED TO CONVEY CONCENTRATED DRAINAGE SHALL BE PREPARED AND MAINTAINED TO

CONTROL EROSION BY EFFECTIVE PLANTING TO BE COMPLETED NO LATER THAN 30 DAYS PRIOR TO A

TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS,

PLANTINGS, AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO

AND TO INITIATE AN APPLICATION FOR A TREE REMOVAL PERMIT IF APPLICABLE. CONTACT ARBORIST

BUILDING PERMIT ISSUANCE. OTHERWISE, THE DEMOLITION PLANS SHALL BE REVISED TO SHOW TREE

PROPOSED PRUNING OF DOWNTOWN STREET TREES. SAFETY PRUNING MAY BE COMPLETED BY THE

RON COMBS AT (805) 781-7023 TO COORDINATE A SITE INSPECTION AND TO VERIFY TREE REMOVAL

PERMIT APPLICATION REQUIREMENTS. THE TREE REMOVAL PERMIT SHALL BE ISSUED PRIOR TO

16. CONTACT THE CITY ARBORIST AT (805) 781-7023 TO REVIEW ANY PROPOSAL FOR TREE REMOVALS

17. CONTACT THE CITY ARBORIST AT (805) 781-7023 TO REVIEW AND APPROVE ANY REQUIRED OR

18. CONTACT THE CITY ARBORIST AT (805) 781-7023 TO REVIEW THE PROPOSED TREE PROTECTION

MEASURES PRIOR TO COMMENCING WITH ANY DEMOLITION, GRADING, OR CONSTRUCTION, ANY

PRIOR TO CONSTRUCTION IN AREAS WHERE TREE PROTECTION AND INSPECTION IS REQUIRED.

HAND DIGGING IS REQUIRED WITHIN THE DRIPLINE OF TREES TO REMAIN; ANY EXPOSED ROOTS

AT (805) 781-7023 BEFORE COMMENCING WITH DEMOLITION, GRADING, OR EXCAVATIONS.

HTTP://WWW.SLOCITY.ORG/HOME/SHOWDOCUMENT?ID=4685

ASHLEY & VANCE FOR ALL COSTS AND DAMAGES IF USED.

USE OF ELECTRONIC INFORMATION:

CONSTRUCTION CONTRACT DOCUMENTS.

IN THE CONTRACT DOCUMENTS.

ELECTRONIC FILES BY OTHERS.

CONSTRUCTION.

20. TREE REMOVALS REQUIRE A SEPARATE TREE REMOVAL PERMIT. APPLICATION LOCATED HERE:

THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY. IF REQUESTED BY THE USER

WORK PRODUCT. THE SIGNED HARD COPY PREPARED FOR THE PROJECT CONSTITUTES OUR

PROFESSIONAL WORK PRODUCT AND THE HARD COPY MUST BE REFERRED TO FOR THE CORRECT

ELECTRONIC INFORMATION MAY BE PROVIDED BY THE ENGINEER FOR CONVENIENCE; UNDER NO

THE ENGINEER AND THE ENGINEER MAKES NO WARRANTIES, EITHER EXPRESS OR IMPLIED, OF

SHALL BE BASED ON DIMENSIONS AND INFORMATION INCLUDED ON THE SIGNED AND SEALED

USER IS RESPONSIBLE FOR CONFIRMING LOCATION OF PROPOSED IMPROVEMENTS BASED ON

DIMENSIONS AND INFORMATION INCLUDED ON THE CONSTRUCTION CONTRACT DOCUMENTS;

RAMPS, WALLS, ETC, ARE SHOWN SCHEMATICALLY IN THE ELECTRONIC INFORMATION AND

DETAILS PRESENTED OR REFERENCED IN THE SIGNED AND SEALED CONSTRUCTION CONTACT

LIABLE FOR INDIRECT OR CONSEQUENTIAL DAMAGES AS A RESULT OF THE USE OR REUSE OF THE

CONSTRUCTION CONTRACT DOCUMENTS WHICH SHALL CONTROL OVER ELECTRONIC INFORMATION.

INCONSISTENCIES BETWEEN THE ELECTRONIC INFORMATION AND THE CONSTRUCTION CONTRACT

DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO

PROJECT ELEMENTS SUCH AS MANHOLES, CATCH BASINS, UTILITY VAULTS, VALVE ASSEMBLIES, STAIRS,

CONSTRUCTION OF THESE ELEMENTS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION NOTES AND

DOCUMENTS. IMPROVEMENTS CONSTRUCTED BASED ON ELECTRONIC INFORMATION AND IN CONFLICT

WITH THE DRAWING DIMENSIONS DETAILS, AND THE CONSTRUCTION CONTRACT DOCUMENTS SHALL BE REMOVED AND CONSTRUCTED IN THE PROPER LOCATION AND DIMENSIONS AT CONTRACTOR'S SOLE

DIGITAL DRAWINGS ARE TYPICALLY A COMPILATION OF DRAWINGS FROM A NUMBER OF SOURCES AND, AS SUCH. THERE IS INFORMATION IN THE ELECTRONIC FILE ISSUED BY THE ENGINEER THAT WAS NOT DEVELOPED BY THE ENGINEER AND IS NOT AUTHORIZED BY THE ENGINEER FOR USE BY OTHERS. ELECTRONIC INFORMATION PROVIDED BY THE ENGINEER SHALL ONLY BE APPLICABLE FOR IMPROVEMENTS DESIGNED BY THE ENGINEER AND WHICH ARE SPECIFICALLY DESIGNATED BY CONSTRUCTION NOTES AND/OR DETAILS ON THE SIGNED AND SEALED CONTRACT DOCUMENTS.

IF DIGITAL FILES ARE OBTAINED WITH THE INTENT TO USE THEM FOR PROJECT STAKING, THEY SHALL ONLY BE USED BY A QUALIFIED ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA. DIGITAL INFORMATION SHALL ONLY BE USED FOR STAKING HORIZONTAL LOCATION OF PROPOSED IMPROVEMENTS AFTER IT HAS BEEN CONFIRMED WITH THE SIGNED AND SEALED

THE DIGITAL DRAWINGS ARE NOT INTENDED TO BE USED DIRECTLY FOR CONTROL OF CONTRACTOR'S

GRADING OPERATIONS WITHOUT STAKING BY ENGINEER OR LAND SURVEYOR. THE INTERSECTION OF PROPOSED CUT AND FILL SLOPES WITH EXISTING GRADE IS APPROXIMATE WHERE SHOWN ON THE

DRAWINGS AND SHALL BE CONFIRMED BY FIELD STAKING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT SLOPES IN CONFORMANCE WITH THE SPECIFIED AND DETAILED REQUIREMENTS CONTAINED

CIRCUMSTANCES SHALL DELIVERY OF ELECTRONIC FILES FOR USE BY OTHERS BE DEEMED A SALE BY

MERCHANTABILITY AND FITNESS FOR ANY PARTICULAR PURPOSE. IN NO EVENT SHALL THE ENGINEER BE

ELECTRONIC INFORMATION IS INTENDED TO PROVIDE INFORMATION SUPPLEMENTAL AND SUBORDINATE

TO THE CONSTRUCTION CONTRACT DOCUMENTS. LAYOUT AND CONSTRUCTION OF PROJECT ELEMENTS

THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL

DESIGN INFORMATION. THESE PLANS HAVE BEEN PREPARED SOLELY FOR USE FOR THE PROJECT SCOPE

PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, USE OF ANY PART OF THESE

PLANS, INCLUDING ANY NOTE OR DETAIL, FOR ANY UNAPPROVED OR REVISED PROJECT SCOPE, OR FOR

ANY OTHER PROJECT AT THIS OR ANY OTHER SITE. USER AGREES TO INDEMNIFY AND HOLD HARMLESS

AND SITE SPECIFICALLY IDENTIFIED HEREON AT THE TIME THESE PLANS ARE SIGNED. THE ENGINEER

SAFETY PRUNING OR THE CUTTING OF SUBSTANTIAL ROOTS SHALL BE APPROVED BY THE CITY AND

SHALL BE OBSERVED BY CITY ARBORIST BEFORE REMOVING. CONTACT CITY ARBORIST RON COMBS

COMPLETED BY A CITY-APPROVED ARBORIST. CONTACT THE CITY ARBORIST AT LEAST 48 HOURS

13. THE ADJOINING STREET AND SIDEWALK SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST,

11. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE UTILITY DEPARTMENT SEWER

RIGHT-OF-WAY IN THE DOWNTOWN AREA DURING THE HOLIDAY SEASON. THE HOLIDAY SEASON

4. A TRAFFIC AND PEDESTRIAN CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS

COMMENCES WITH THANKSGIVING AND ENDS AFTER NEW YEARS DAY.

CHORRO STREET OR THE ENGINEERING DIVISION LOCATED AT 919 PALM STREET.

LIMIT OF SUBDIVISION IMPROVEMENTS AND INSPECTION RESPONSIBILITIES.

MUD, AND CONSTRUCTION DEBRIS AT THE END OF EACH WORKING DAY.

A VIDEO INSPECTION.

AND GROUND DISTURBING ACTIVITIES.

REQUEST FOR FINAL INSPECTION.

FINAL INSPECTION APPROVALS.

PRESERVATION MEASURES.

CITY OR BY A CITY APPROVED ARBORIST.

A PRE-CONSTRUCTION MEETING SHALL BE COORDINATED BY THE OWNER/DEVELOPER OR

CONTACT THE PUBLIC WORKS INSPECTION HOTLINE AT (805) 781-7554 WITH AT LEAST A 48 HOUR

- UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITION OF A. PRIOR TO COMMENCING CONSTRUCTION CALLED FOR BY THESE PLANS, SPECIFICATIONS AND DETAILS, THE OWNER SHALL ENGAGE A GEOTECHNICAL ENGINEER TO PROVIDE CONSTRUCTION PHASE OBSERVATION AND TESTING SERVICES AND SHALL ALSO ENGAGE THE PROJECT ENGINEER A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR OR ANOTHER QUALIFIED PARTY TO PROVIDE PROJECT CONSTRUCTION OBSERVATION AND ASSURANCES ON CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND AGENCY ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER REQUIREMENTS. THE OWNER SHALL ALSO ASSURE THAT CONTRACTOR(S) ENGAGED TO PROPERL' IMPLEMENT THE CONSTRUCTION CALLED FOR ON THESE PLANS. SPECIFICATIONS AND DETAILS UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, INCLUDING THOSE TASKS CALLED FOR ON THE PROJECT STORM WATER POLLUTION PREVENTION STREET PAVING, AND PEDESTRIAN PROTECTION OR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY PLAN DOCUMENT OR EROSION CONTROL PLAN SHEETS ATTACHED AS PART OF THESE PLANS.
 - B. GEOTECHNICAL ENGINEER'S RESPONSIBILITIES:
 - A GEOTECHNICAL ENGINEER SHALL REVIEW THESE PLANS WITH RESPECT TO GENERAL CONFORMANCE WITH THE INTENT OF THE RECOMMENDATIONS PRESENTED IN THE PROJECT SOILS ENGINEERING REPORT. THE PLAN REVIEW SHALL BE PERFORMED SPECIFICALLY WITH RESPECT TO GEOTECHNICAL FACTORS DISCUSSED IN THE REFERENCED REPORT. IN PERFORMING THE REVIEW. A GEOTECHNICAL ENGINEER SHALL ATTEMPT TO VERIFY THAT THE CONCEPTS AND RECOMMENDATIONS PRESENTED IN THE REPORT ARE GENERALLY INCORPORATED INTO THE PLANS. IN ACCORDANCE WITH THIS LEVEL OF REVIEW. THE PLANS ARE TO BE FOUND IN SUBSTANTIAL CONFORMANCE WITH THE CONCEPTS AND RECOMMENDATIONS PRESENTED IN THE NOTED REPORT
 - UPON BEING RETAINED BY THE OWNER, PRIOR TO CONSTRUCTION THE GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER AND THE CONTRACTOR THE LEVEL OF OBSERVATION AND TESTING THAT WILL BE PROVIDED DURING CONSTRUCTION. PROVIDED THAT THE CONTRACTOR FULFILLS HIS OR HER RESPONSIBILITY FOR TIMELY REQUESTS FOR THOSE SERVICES DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING AT THE PROJECT WORK AREA OF EARTHWORK OPERATIONS, INCLUDING TRENCHING AND PAVEMENT SUBGRADE PREPARATION, AS NECESSARY TO HAVE REASONABLE CERTAINTY THAT THE FARTHWORK IS PERFORMED IN GENERAL COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS, AND WITH THE REQUIREMENTS O SAN LUIS OBISPO COUNTY CODE CHAPTER 14 (GRADING ORDINANCE No.4766).
 - UPON COMPLETION OF EARTHWORK, THE GEOTECHNICAL ENGINEER SHALL, UPON REQUEST PROVIDE A FINAL REPORT WITH RESULTS OF THEIR OBSERVATION AND TESTING DURING EARTHWORK OPERATIONS, PROVIDED THAT THE WORK IS PERFORMED IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS, THE REPORT WILL STATE THEIR OPINION THAT THE GRADING WAS COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE MAIN PRIOR TO ANY DEMOLITION UNLESS THAT LATERAL IS INTENDED FOR REUSE AND IT PASSES C. CONTRACTOR'S STORM WATER POLLUTION CONTROL RESPONSIBILITIES:
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT AND MAINTAIN POLLUTION PREVENTION MEASURES, INCLUDING THOSE FOR EROSION AND SEDIMENT CONTROL, AS NECESSARY TO PREVENT ANY POLLUTANT AT ANY LEVEL FROM BEING CONVEYED OFF THE CONSTRUCTION SITE AND THAT THESE MEASURES MUST CONTINUE TO BE MAINTAINED UNTI THE REQUIRED POST-CONSTRUCTION POLLUTION PREVENTION MEASURES ARE IN PLACE AND COMPLETELY FUNCTIONAL, INCLUDING PERMANENT LANDSCAPING.
 - THE SPECIFIC MEASURES WHICH MAY BE CALLED FOR ON THE PROJECT STORM WATER POLLUTION PREVENTION PLAN CANNOT ADDRESS ALL SITE DEVELOPMENT AND STORM CHARACTERISTICS WHICH WILL EVOLVE OVER THE COURSE OF CONSTRUCTION AND THAT IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOT ONLY IMPLEMENT THE PLAN, BUT TO MAKE ADJUSTMENTS AND EXPANSIONS IN THE IMPLEMENTATION AS NECESSARY TO ADAPT TO THE CONTRACTOR'S CONSTRUCTION OPERATIONS AND SCHEDULE AND TO ADDRESS EVOLVING SITE CONDITIONS AND ACTUAL WEATHER CONDITIONS.
 - 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE EMPLOYEES AND SUBCONTRACTORS ARE TRAINED REGARDING THESE REQUIREMENTS AND TO MAINTAIN RECORDS OF THE INSTALLATION, MODIFICATION, INSPECTION, AND MAINTENANCE OF STORM WATER POLLUTION PREVENTION MEASURES INCLUDING. BUT NOT LIMITED TO: TRAINING. INSPECTION. MAINTENANCE LOGS; RECORD DRAWINGS SHOWING LOCATIONS, LIMITS, AND DATES OF INSTALLATION FOR VARIOUS MEASURES; DATED PHOTOGRAPHS AND FIELD SKETCHES.
 - THE CONTRACTOR SHALL BE FAMILIAR WITH AND AGREE TO IMPLEMENT THE MEASURES AND INSTALLATIONS DEPICTED ON THE PROJECT STORM WATER POLITITION PREVENTION PLAN. INCLUDING INSTALLATION. ROUTINE INSPECTION AND MAINTENANCE. ADJUSTMENTS AND EXPANSION DUE TO EVOLVING SITE CONDITIONS, EMERGENCY MAINTENANCE AND ADJUSTMENTS DUE TO ACTUAL STORM AND SITE CONDITIONS, AND DOCUMENTATION.

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The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, nc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

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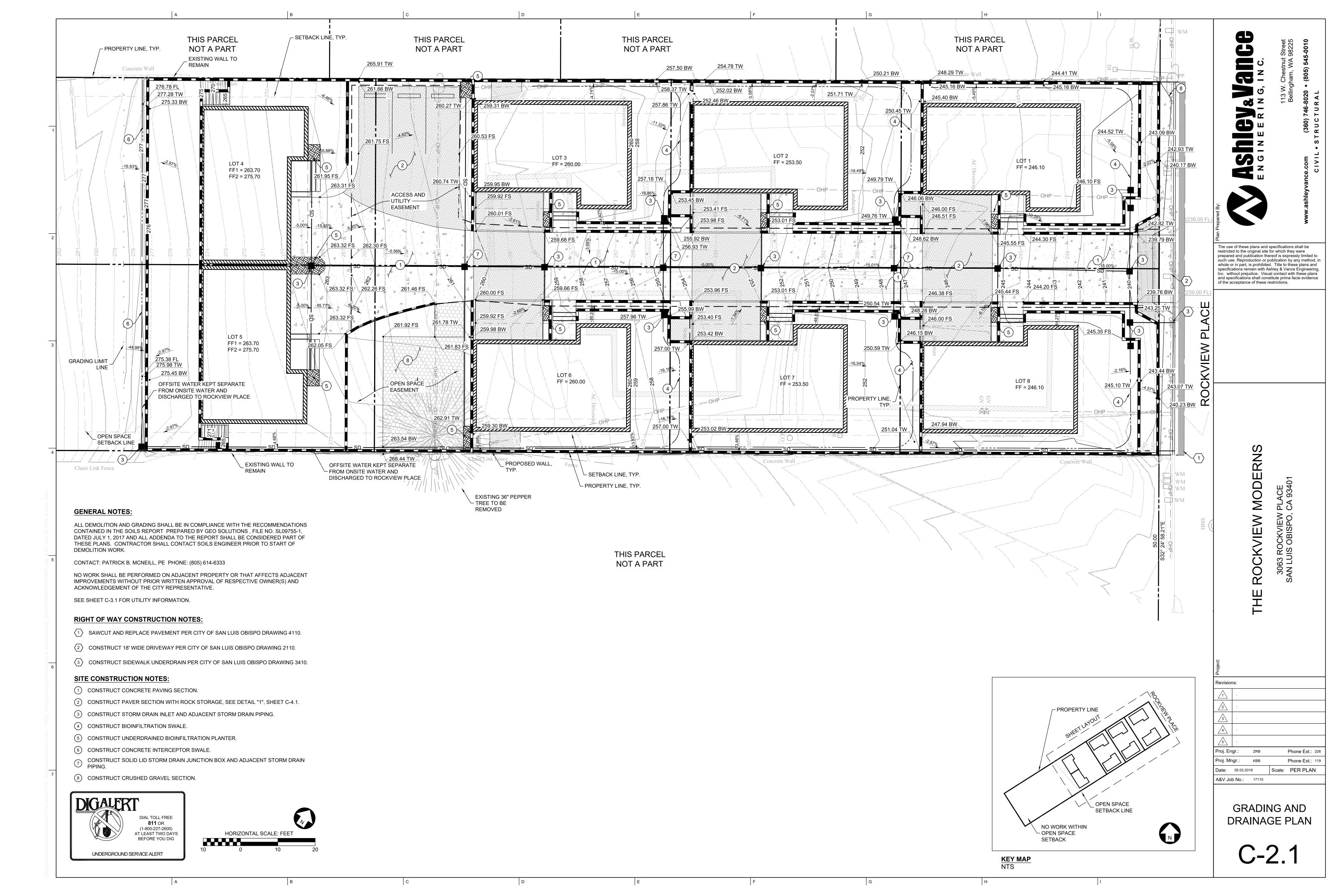
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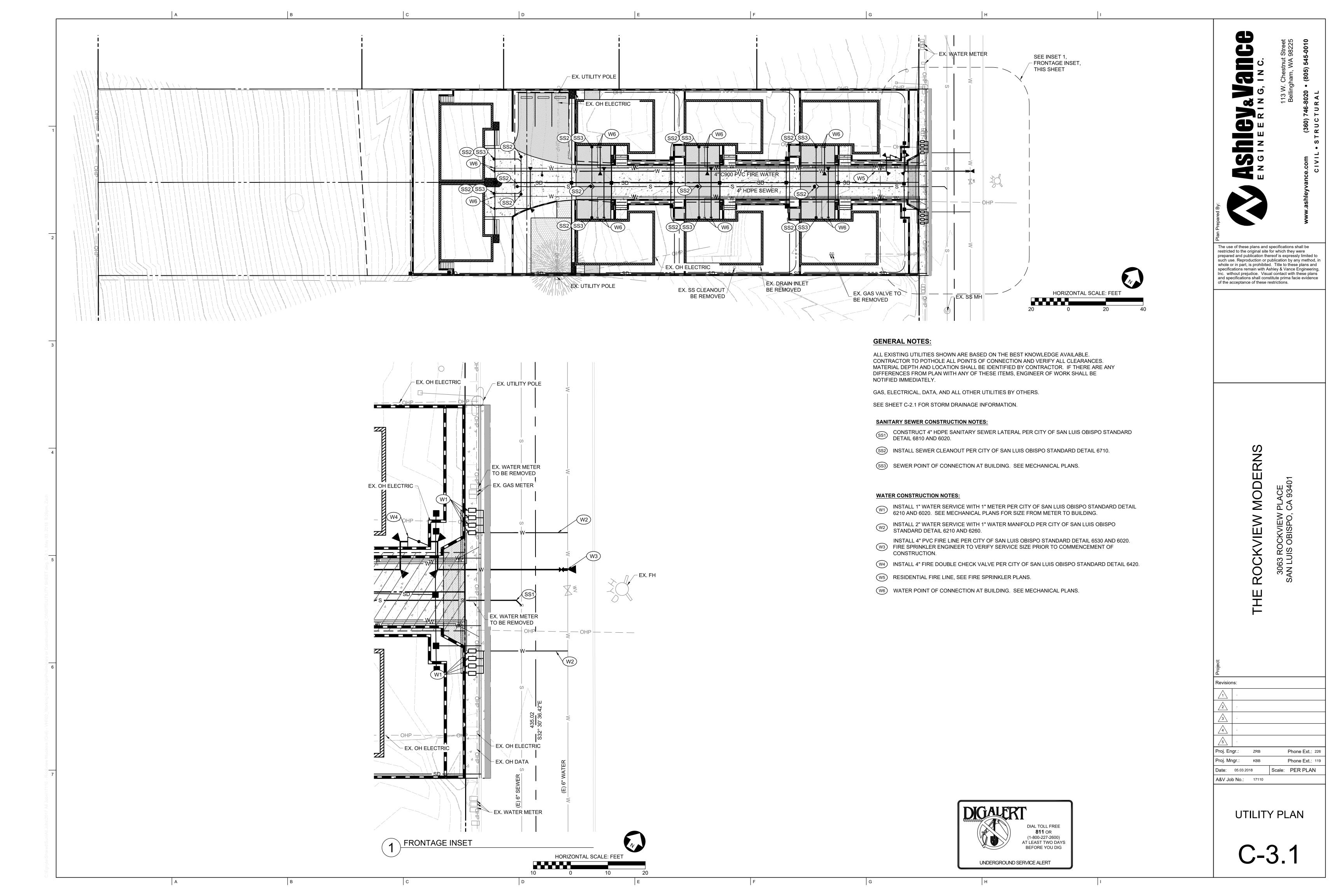
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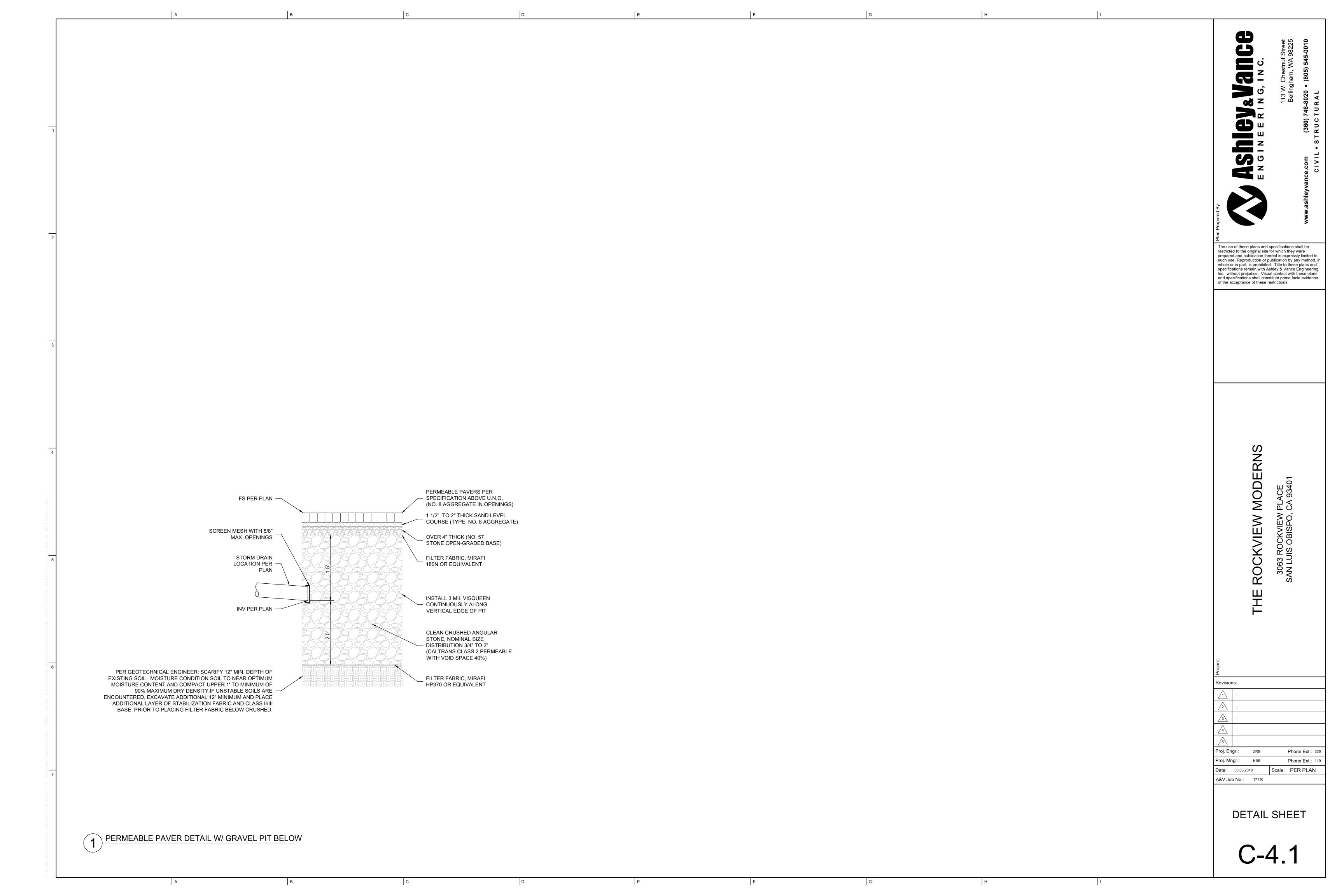
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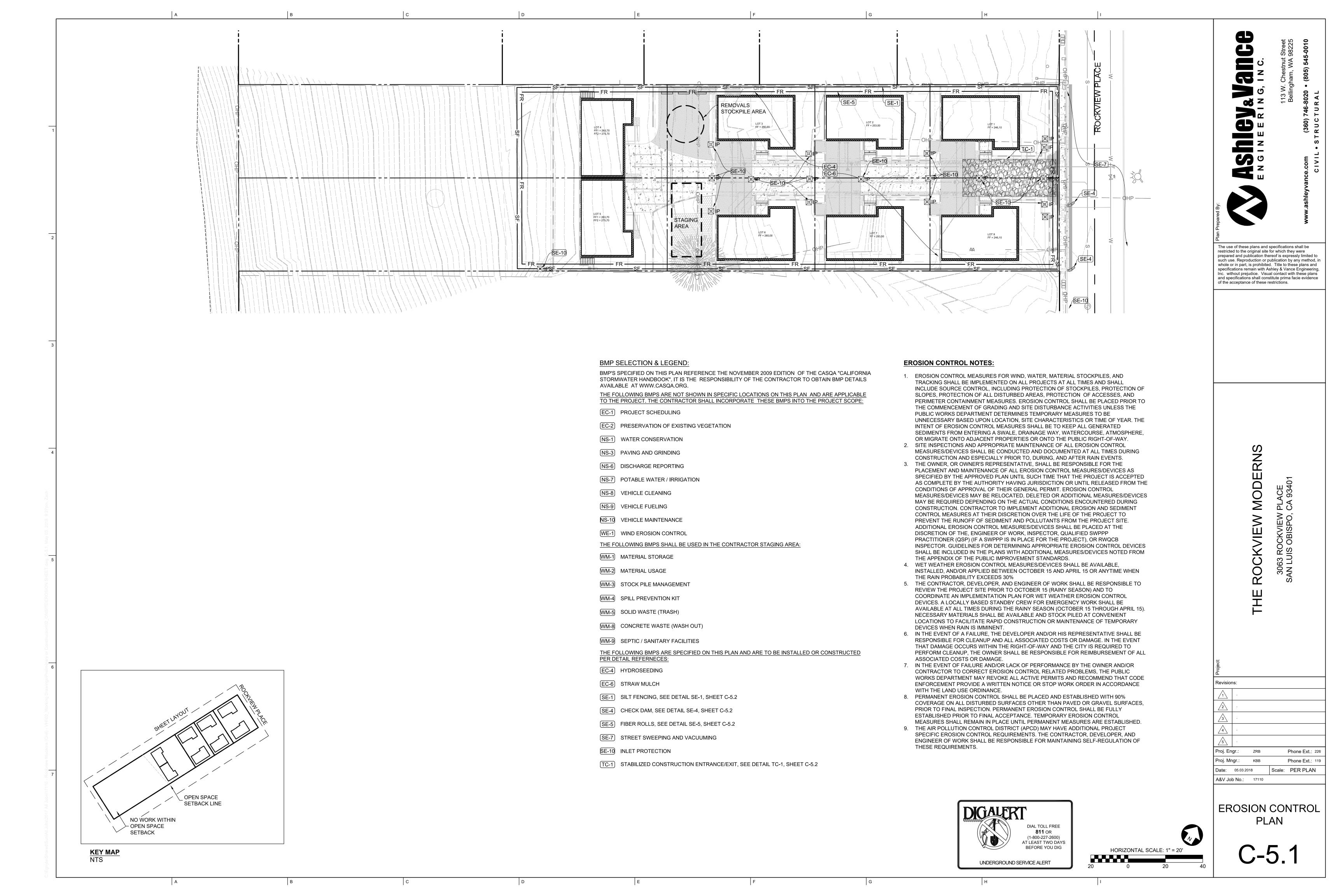
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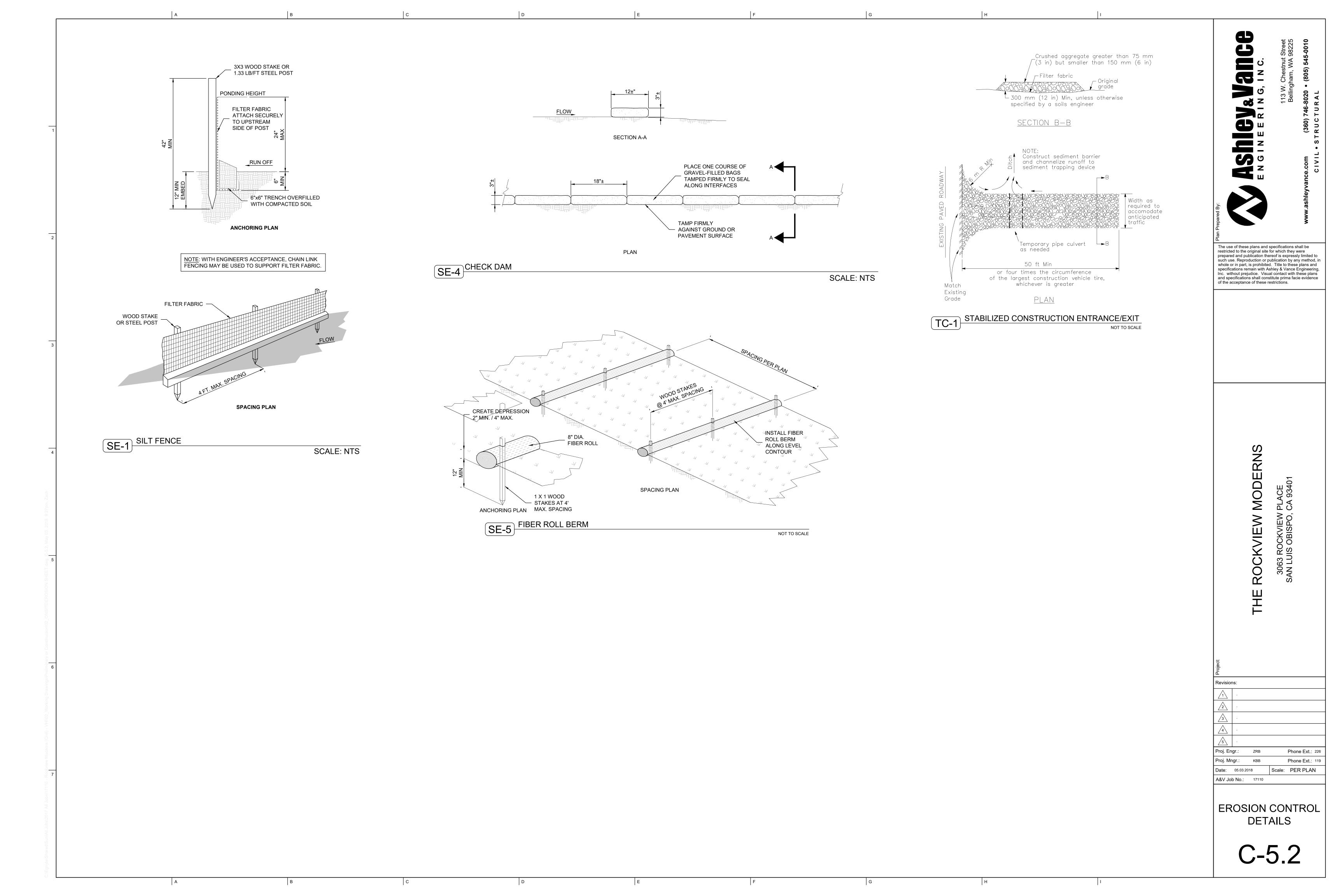
REMODELING OR DEMOLITION OF PRE-1978 STRUCTURES WITHOUT USING LEAD SAFE WORK PRACTICES IS A VIOLATION OF THE CALIFORNIA HEALTH AND SAFETY CODE SECTION 105256. CONTRACTORS, REMODELERS AND PAINTERS ARE REQUIRED TO USE "LEAD-SAFE" WORK PRACTICES PURSUANT TO TITLE 17, CALIFORNIA CODE OF REGULATIONS SECTION 36050.













Architects, LLP

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SED ARCHITCHER SED

CKVIEW MODERNS3063 Rockview Place
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DATE ISSUE

170CT24 COMBINET ARC & PC SUBMITTA

18JAN24 TIM Find

JOB NUMBER

1718

e Constraints

SHEET NUMBER

ACO.O

EXISTING SITE
CONSTRAINTS

22x34 sheet: 1/2 scale @ 11x17

UTILITY NOTES

Verify locations of all utilities at street with Civil Utility Plan. Architectural Site Plan is schematic and incdicates intent only. All utilities shall be field verified.

- Coordinate site utility work with all local governing agencies and local utility companies. Any new wire services shall be placed underground in accordance with the building
- codes as amended locally. Any exceptions to under grounding of utilities shall be approved by the building official. A sewer backwater valve is required. Provide dual plumbing system so that fixtures not needing backwater protection will by-pass the valve in accordance with the uniform
- plumbing code and/or building division policies. Slope sewer lateral a minimum of 1/4" per 1'-0" from plumbing fixtures to point of disposal
- at septic system.
- Provide an accessible sewer lateral cleanout at the building.
- Water service piping shall be sized in accordance with the approved fire sprinkler plans. Regulate site water pressure to 80psi max as required.
- Provide an approved backflow prevention device at all new hose bibs.

EROSION CONTROL NOTES

A plan has been developed, and will be implemented, to manage storm water drainage during construction. CGC 4.106.2 & 4.106.3 The site shall be planned and developed to keep surface water away from buildings. Civil Plans indicate how site grading or a drainage system will manage all surface water flows. CGC 4.106.3

SYMBOL LEGEND

■ INDICATES DIRECTION OF VIEW

SECTION CUT REFERENCE SHEET NUMBER

INDICATES DIRECTION OF VIEW INTERIOR ELEVATION REFERENCE NUMBER
SHEET NUMBER

DOOR ID - REFER TO SHEET A3.0 # WINDOW ID - REFER TO SHEET A3.0

ABBREVIATIONS FOR A COMPLETE LIST OF ABBREVIATIONS, REFER TO 11.0

TEMPERED GLAZING REQUIRED **ROUGH OPENING** R.O. P.W.

PLYWOOD PLATE HEIGHT FINISH FLOOR

GRADING NOTES

HEADER

PLT. HT.

F.F.

HDR.

- Lot grading shall meet the minimum requirements of the latest CBC edition.
- 2. Grading permit required if volume of earth moved exceeds 200 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Grading Ordinance 202)
- . Compaction report required for fill material 12 inches or more in depth. (CBC 1803.5.8) 4. No grading or drainage improvements which alter existing drainage courses or concentrate drainage to adjacent properties shall be allowed without prior approval from the County Engineer.
- Drainage shall be carried to the street or other improved drainage device via a non-errosive drainage device.
- 6. The grade shall fall a minimum of 6 inches within the first 10 feet from the building. 7. Refer to Civil Engineering drawings for site grading, improvements, and errosion control.

SITE PLAN GENERAL NOTES

- It is the contrctor's responsibility to locate all existing utilities whether shown heron or not and to protect them from damage. The contractor shall bear all expense of repair or replacment in conjunction with the execution of this work.
- Verify location of residence and all site improvments per plan. Notify the Architect of any discrepancies prior to any construction. The structure is located within 5' of the minimum required setback from the property line. At
- foundation inspection, provide certification from a licensed land surveyor or civil engineer that the structure meets the setback requirements. Exception for existing legal survey monuments: If a line can be strung between the monuments to clearly show the property line from which to measure the required setback,
- the certification may be waived. This must be verified with your inspector. Please note that the building inspector may require setback certification on any project regardless of the distance to the allowable setback if the property boundaries are unclear. Revisions required by unforeseen site conditions shall be approved by the architect prior to
- A separate encroachment permit is required for any work in the public right-of-way, mainline extensions, or work in a public easement. Work requiring an encroachment permit includes, but is not limited to, utility connections to a public main, street paving, or construction staging in the right-of-way.
- Addresses shall be plainly visible and legible from the street or road fronting the property. Address numbers shall be 4" high, 1/2" min. stroke width and of contrasting color to their background.
- Paving, masonry and concrete subcontractors are to coordinate with the electrician, drainline subcontractor and irrigation subcontractor for sleeving, piping and/or conduit installation under or through hardscape elements.
- Minimum concrete compressive strength shall be 2,500psi at 28 days. Unless noted
- differently in structural plans. During the construction period, the project frontage(s) shall be swept daily and kept free of
- 10. Waste materials shall not be washed into the storm drain system. This includes but is not limited to soil, paint, stucco, grout, color coat, concrete dust, saw residues, grindings, oil,

SITE DEVELOPMENT KEYNOTES

- Dashed line indicates 9'-0" setback for second floor. Refer to site sections for maximum heights.
- Dashed line indicates 5'-0" setback for first floor. Refer to Site Sections for maximum
- 3. Install new Driveway Ramp per Standard 2110 City of SLO Engineering.
- 4. Proposed location of Open Space Easement to align with neighboring Parcels. 5. 9'-0"x18'-0" parking stall - typ. of 3
- 6. Antique light pole per San Luis Obispo lighting Standard this sheet. 1400+sqft of Private Open Space provided (250sqft required) with a minimum
- dimension in every direction of ten feet. Accessible from second floor. Metal guardrail at site retaining wall.
- Stepped retaining walls per hillside development requirements. Refer to Site
- Sections for wall Heights.
- 10. Landscape area. 11. Metal lamp post per City of San Luis Obispo Night Sky requirements this sheet. Refer
- to exterior elevations for colors. 12. Permeable pavers at driveway hatch, fire hamerhead and guest parking area. Refer to Civil sheets for LID requirements and Landscape sheets for color, size and
- installation requirements. 13. Asphalt Driveway 1.6% max slope. Refer to Civil Grading Plans.
- 14. New 6'0" Sidewalk Curb and Gutter per City of San Luis Obispo Engineering
- 15. Proposed 2'-0" dedication to the City for a 6'-0" sidewalk, curb, and gutter.
- 16. Stand alone trellis. Requesting variance for front setback. Do not structurally attach
- 17. 5'-0" (200cuft) Weatherproof and lockable storage space for sole use of the unit owner. Opening shall be a minimum of 2'-6"x4'-0" with a minimum height of 4'-0". Provide landscaping to soften and shield from view.
- 18. 560+sqft of Private Open Space provided (250sqft required) with a minimum
- dimension in every direction of ten feet. 19. Low fence with metal guardrail with concrete base.
- 20. Bike racks (typ. of 2) at 4 locations. See spec sheet this page.
- 21. existing 36" pepper tree to be removed
- 22. Existing Fire Hydrant



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MODERNS

CKVIEW

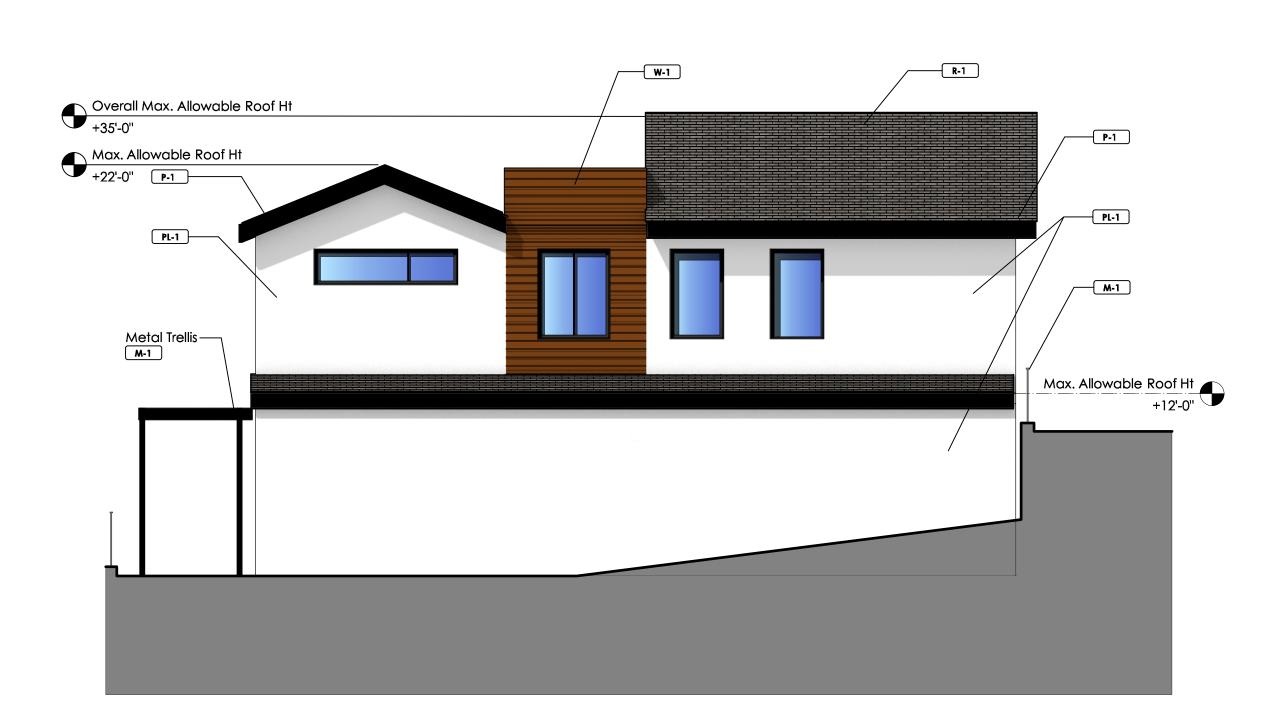
17OCT24 18JAN24

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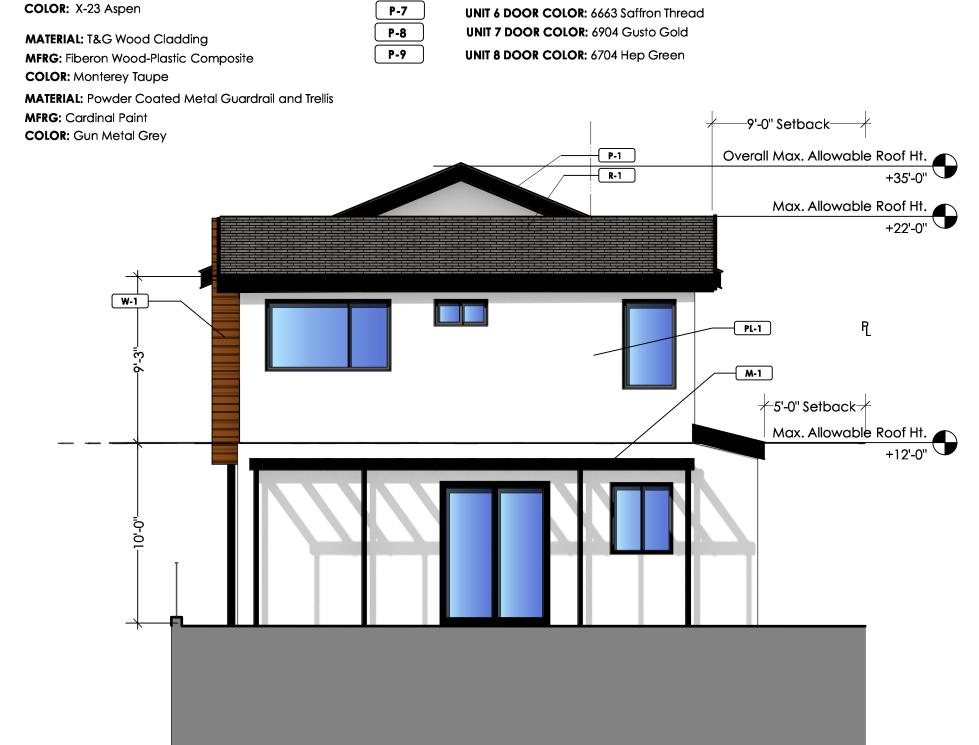
TTM Final ARC SUBMITTAL











MFRG: Shewin-Williams Paint

MFRG: Sherwin-Williams Paint For Exterior Front Doors:

P-3

P-4

P-5

P-6

COLOR: SW 6991 Black Magic

UNIT 1 DOOR COLOR: 6970 Venture Violet

UNIT 2 DOOR COLOR: 6759 Cooled Blue

UNIT 4 DOOR COLOR: 6865 Gypsy Red

UNIT 3 DOOR COLOR: 6794 Flyway

UNIT 5 DOOR COLOR: 6879 Daring

MATERIAL AND FINISH LEGEND EXTERIORS

MATERIAL: Asphalt Roofing Shingles

MFRG: TruDefinition

TYPE: Duration Cool **COLOR:** Mountainside

MATERIAL: PVC Roof MFRG: GAF

MATERIAL: Exterior Plaster

MFRG: La Habra

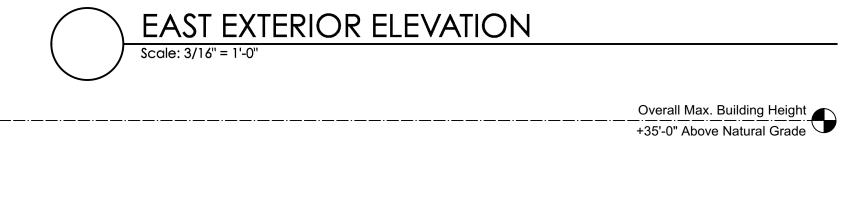
Color: Grey

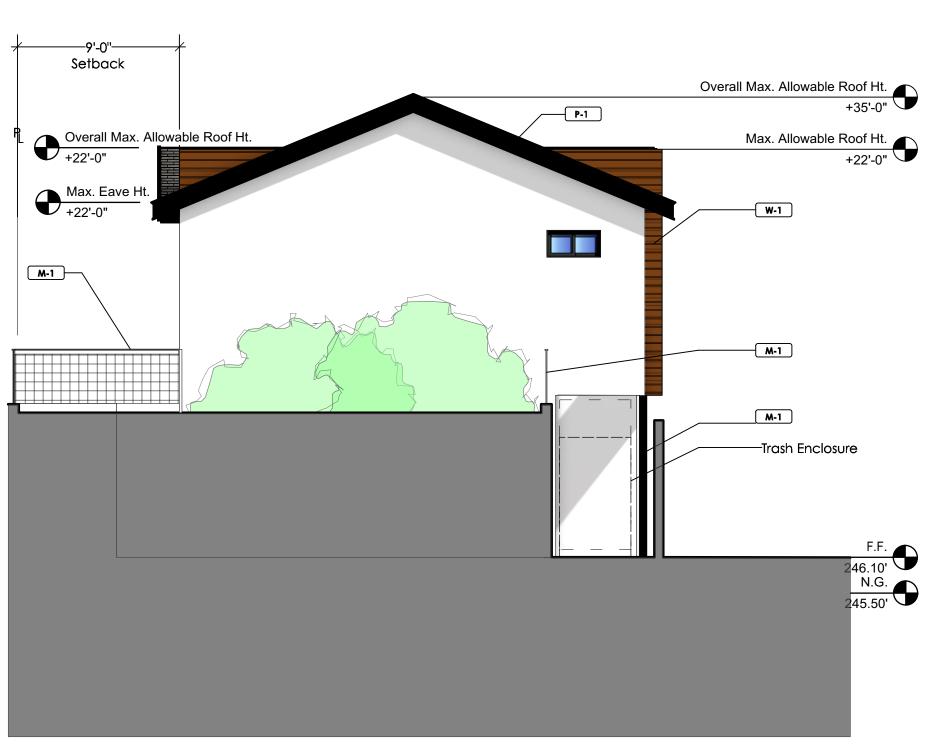
ROOF **R-1**

R-2

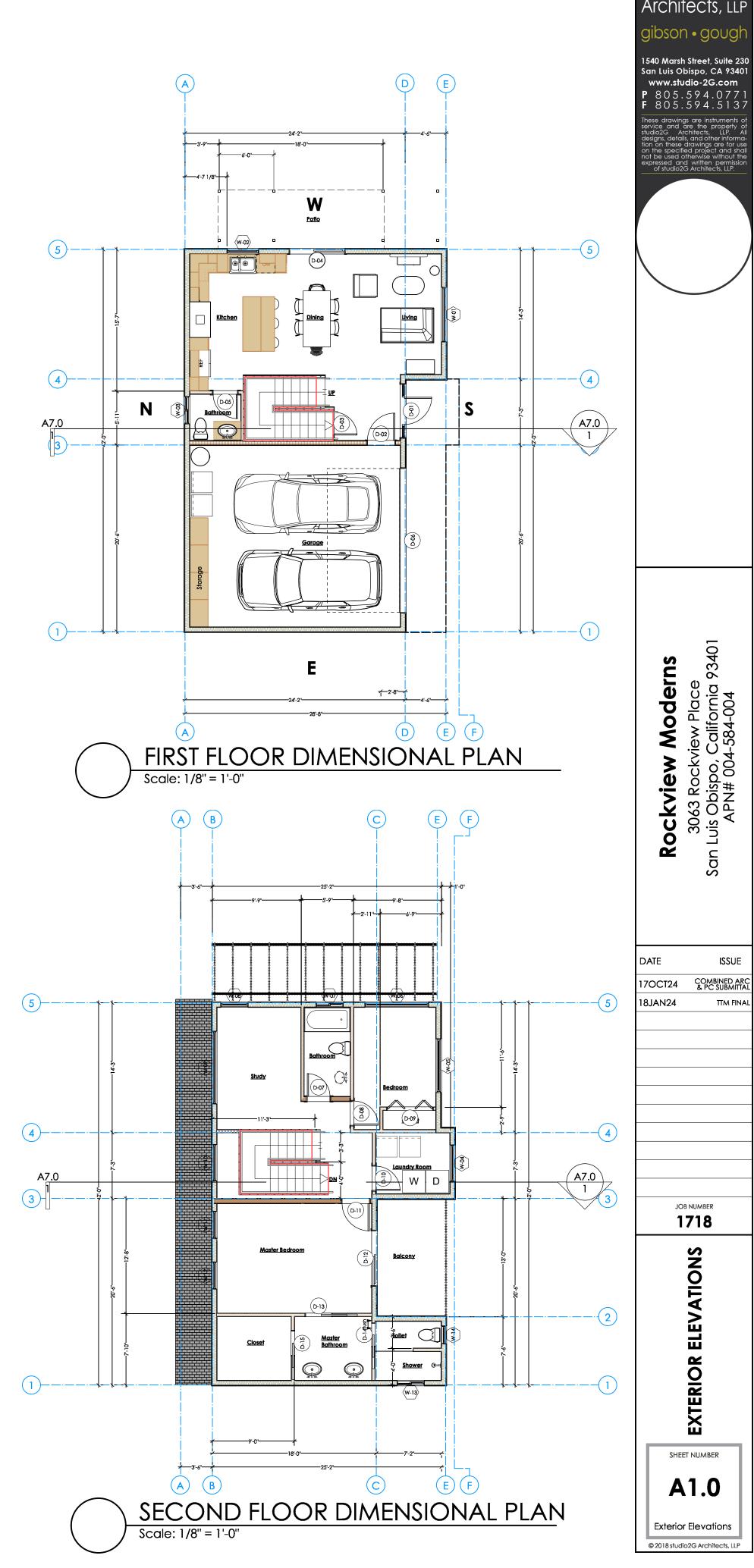
PL-1

TRIM / Exterior Siding

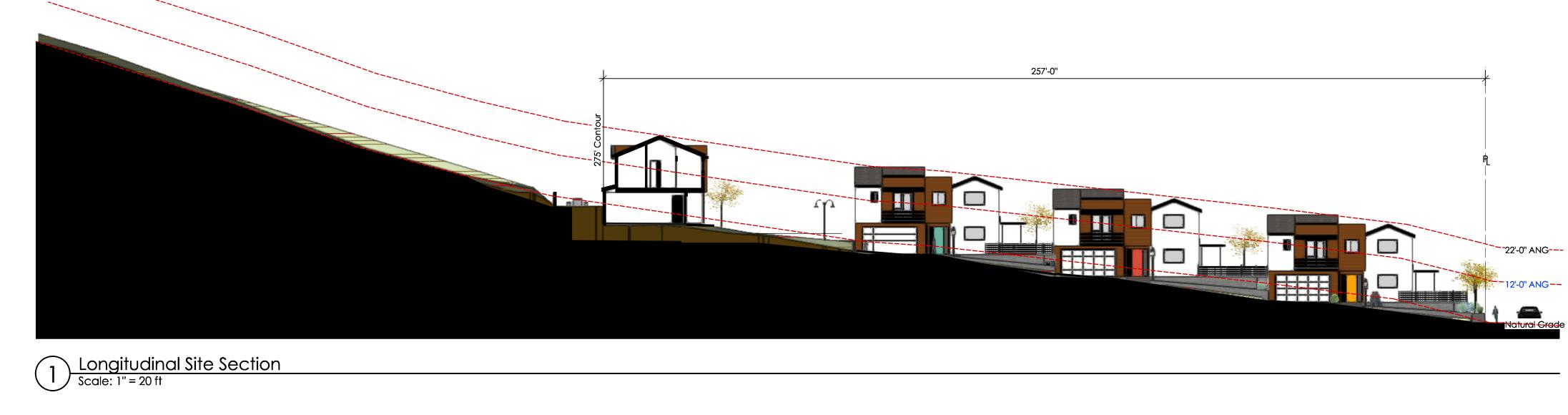


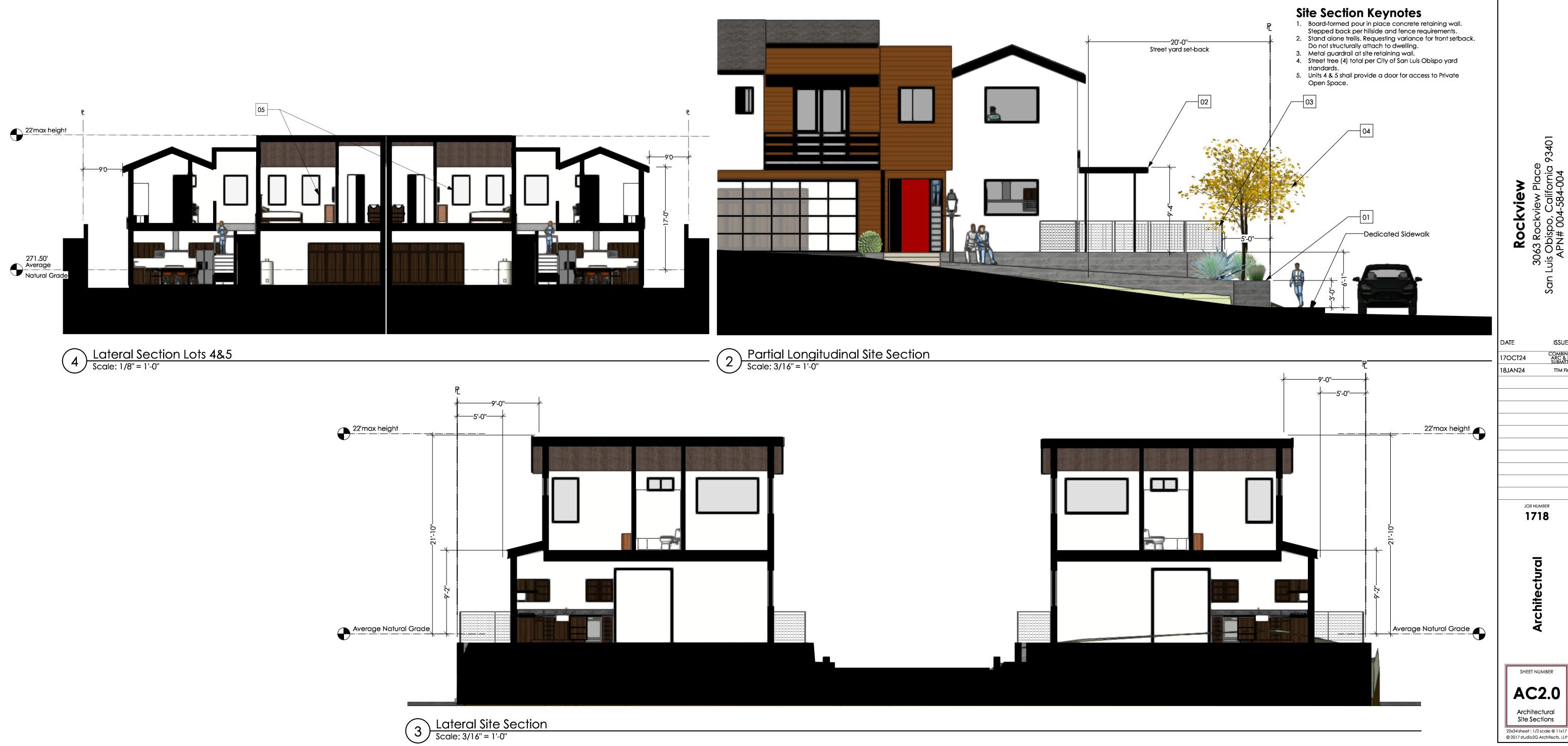






EXTERIOR ELEVATIONS





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Rockview
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APN# 004-584-004

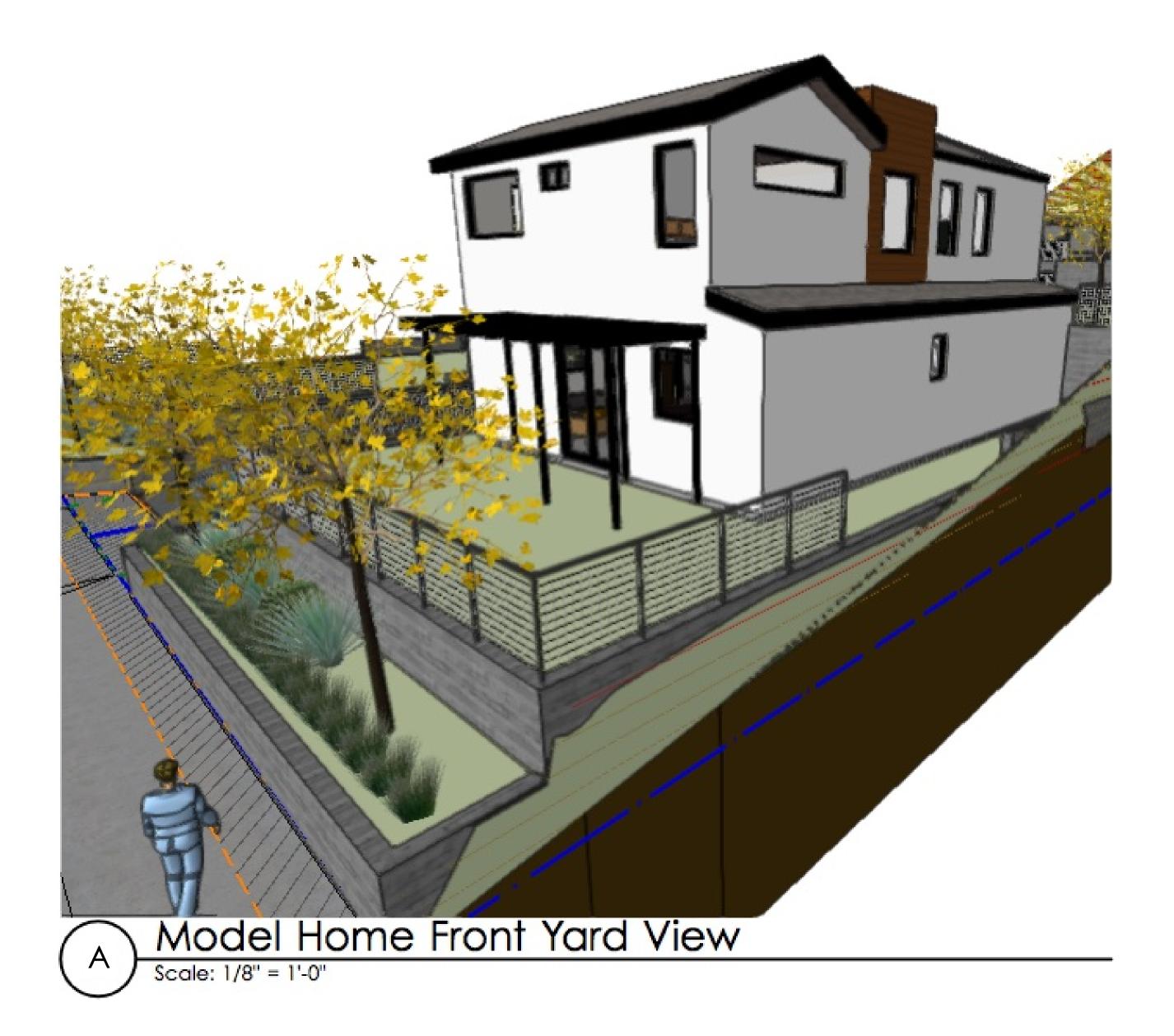
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JOB NUMBER

1718

Architectural

SHEET NUMBER AC2.0 Architectural Site Sections 22x34sheet: 1/2 scale @ 11x17





B) Model Home Garage Perspective

Scale: 1/8" = 1'-0"

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DATE ISSUE

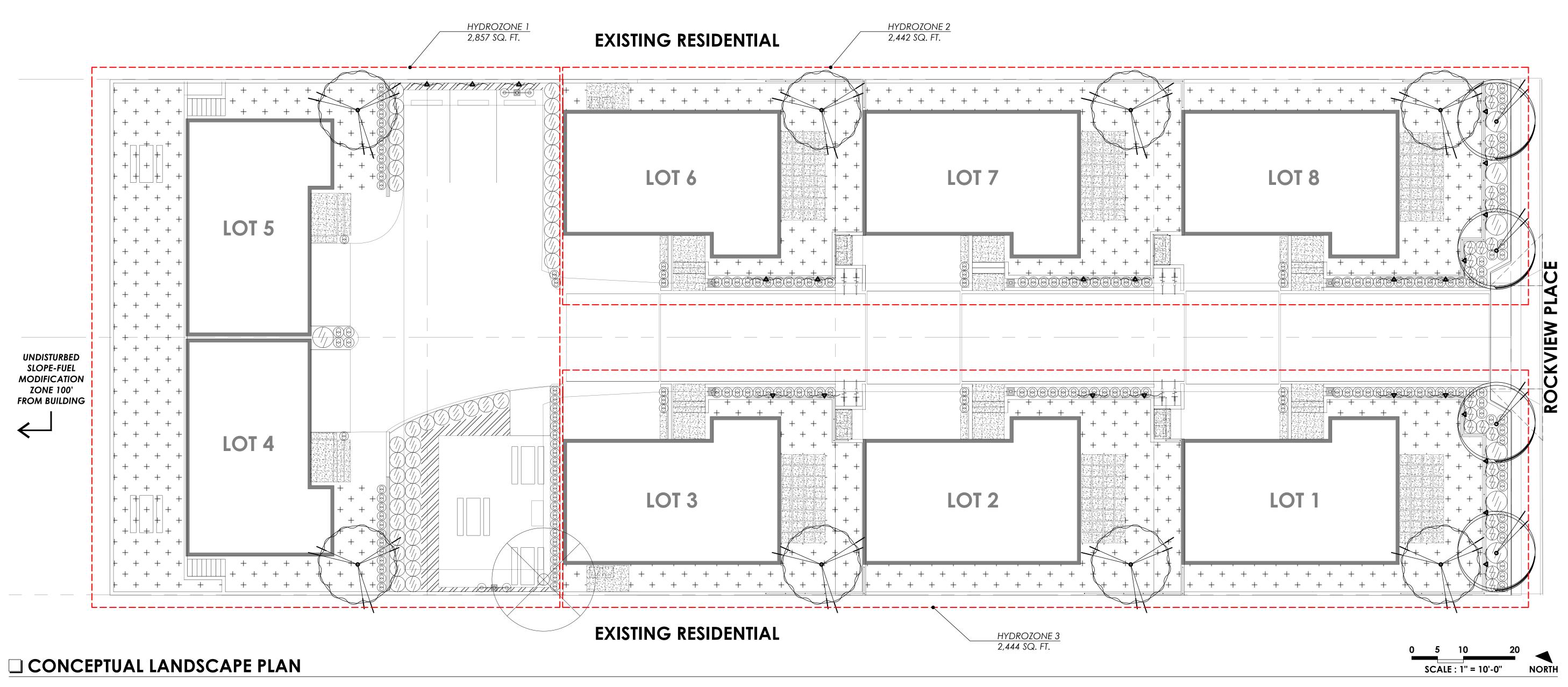
70CT24 COMBINED ARC & PC SUBMITTAL

JOB NUMBER **1718**

PERSPECTIVE ELEVATIONS

A9.1

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CONCEPTUAL PLANTING LEGEND



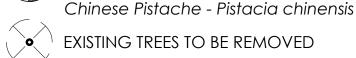
ACCENT TREES

Natchez Crape Myrtle - Lagerstroemia indica 'Natchez' Shademaster Honey Locust - Gleditsia t. var. inermis 'Shademaster' Coast Live Oak - Quercus agrifolia Chinese Elm - Ulmus Parvifolia



STREET TREES - PER CITY OF SAN LUIS OBISPO

Sweetshade - Hymenosporum flavum



• EXISTING TREES TO BE REMOVED

MEDIUM FLOWERING SHRUBS

Dwarf Yedda Hawthorn - Rhaphiolepis umbellata 'Minor' Snow White New Z. Tea Tree - Leptospermum s. 'Snow White' Mound San Bruno Coffeeberry - Rhamnus 'Mound San Bruno' Red Yucca - Hesperaloe parviflora Salvia leucantha 'Santa Barbara' - SB Mexican Bush Sage Golf Ball Kohuhu - Pittosporum tenuifolium 'Golf Ball'

SMALL FLOWERING & ORNAMENTAL SHRUBS

Hidcote English Lavender - Lavandula angistifolia 'Hidcote' Stalked Bulbine - Bulbine frutescens Little Rev Flax Lily - Dianella revoluta 'Little Rev' Majestic Lilyturf - Liriope muscari 'Majestic' Melissa Lilac Lavender - Lavandula angustifolia 'Dow4' Autumn Moor Grass - Sesleria Autumnalis Siskiyou Blue Fescue - Fetuca 'Siskiyou Blue' Berkeley Sedge - Carex divulsa Small Cape Rush - Chondropetalus tectorum Elk Blue California Gray Rush - Juncus patens 'Blue Elk' Yarrow - Achillea millefolium Blue Note Blue-Eyed Grass - Sysrinchium angustifolium

ORNAMENTAL GRASSES

Dwarf Mat Rush - Lomandra longifolia 'Breeze' Blonde Ambition Blue Grama - Bouteloa gracilis 'Blonde Ambition' Karl Foerster Reed Grass - Calamagrostis x acutiflora 'Karl Foerster' Pine Muhly - Muhlenbergia dubia Chinese Fountain Grass - Pennisetum Orientale

MEDIUM SHADE SHRUBS

Giant Lily Turf - Liriope gigantea Glant Chain Fern - Woodwardia fimbriata David Viburnum - Viburnum davidii Xanadu philodendron - Philodendron xanadu

→ FLOWERING VINE

Lavender Star Flower - Grewia occidentalis Yellow Lady Banks Rose - Rosa bansiae 'Lutea' Star Jarmine - Trachelospermum jasminoides



FLOWERING GROUNDCOVERS

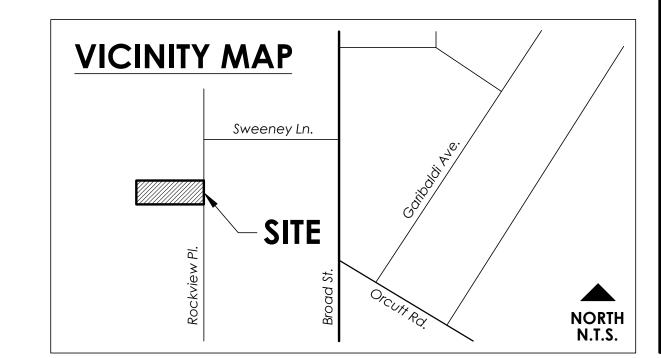
Creeping Myoporum - Myoporum parvifolium 'Putah Creek' Bearberry Cotoneaster - Cotoneaster damerii 'Low Fast' Trailing Rosemary - Rosmarinus officinalis 'Prostratus' Anchor Bay Ceanothus - Ceanothus 'Anchor Bay' Pacific Mist Manzanita - Arctostaphylos 'Pacific Mist'



PRIVATE LANDSCAPE BY FUTURE OWNER

GENERAL NOTES

- 1. MINIMUM PLANT SIZES:
- STREET TREES (24"BOX), SITE TREES (15 GAL.), SHRUBS (1 GAL.), GROUNDCOVER (FLATS)
- 2. IRRIGATION SYSTEM TO BE INSTALLED AS A PART OF SITE CONSTRUCTION. SYSTEM SHALL BE UNDERGROUND, AUTOMATIC WITH DRIP EMITTERS OR SPRAY HEADS, "SMART" CONTROLLER AND AUTOMATIC RAIN SHUTOFF. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
- 3. POINT OF CONNECTION FOR WATER SUPPLY, SHALL BE BY A NEW LANDSCAPE SUB METER FROM WELL.
- 4. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM BARK MULCH AFTER INSTALLATION.
- 5. ALL PLANT MATERIAL SHALL CONFORM TO THE CITY OF SAN LUIS OBISPO OR STATE OF CALIFORNIA MODEL WATER CONSERVATION ORDINANCE.
- 6. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF SAN LUIS OBISPO STANDARDS AND CODES. 7. FOR SITE WORK, ARCHITECTURAL, AND GRADING/DRAINAGE
- INFORMATION SEE PLANS BY OTHERS. 8. ALL AREAS BEYOND THE AREA OF WORK THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITION.
- 9. DRAWINGS ARE FOR DESIGN AND REVIEW PURPOSES ONLY AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
- 10. TREES PLANTED IN AN AREA LESS THAN 8' WIDE SHALL BE INSTALLED
- WITH A ROOT BARRIER TO PROTECT AGAINST HARDSCAPE DAMAGE. 11. STREET TREES ARE TO BE SELECTED FROM THE CITY OF SAN LUIS OBISPO APPROVED TREE LIST.



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SHEET TITLE

CONCEPTUAL LANDSCAPE **PLAN**

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21748

SHEET NO.

CLP-01



David's Viburnum



Shademaster Honey Locust



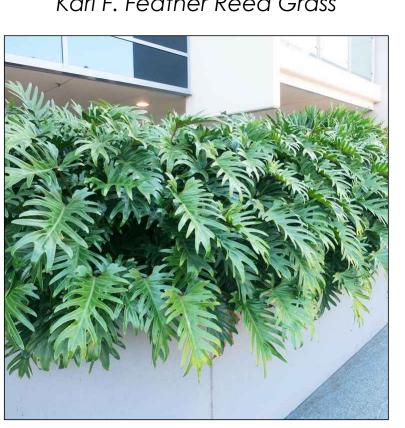
Snow White NZ Tea Tree



Stalked Bulbine



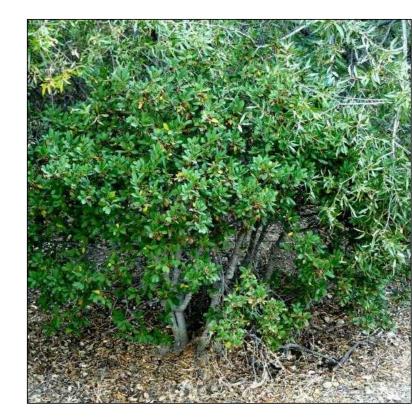
Karl F. Feather Reed Grass



Xanadu Cut-Leaf Philodendron



Natchez Crape Myrtle



Mound San Bruno Coffeeberry



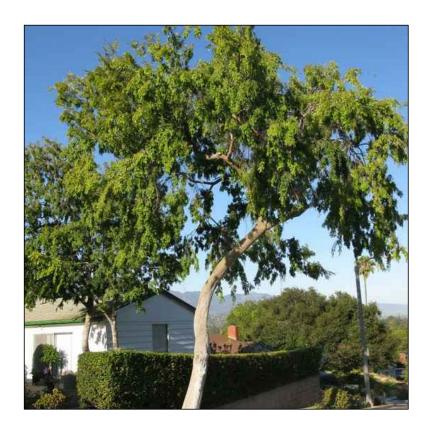
Little Rev Flax Lily



Pine Muhly



Autumn Moor Grass



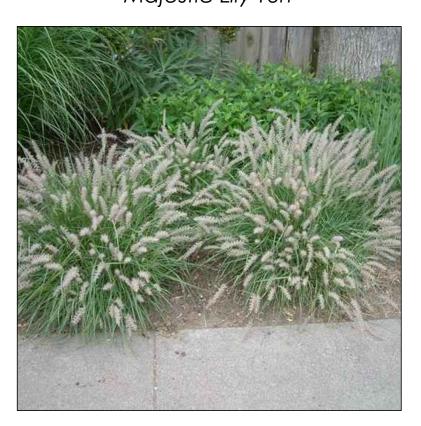
Chinese Evergreen Elm



SB Mexican Bush Sage



Majestic Lily Turf



Chinese Fountain Grass



Siskiyou Blue Fescue

NOTE:



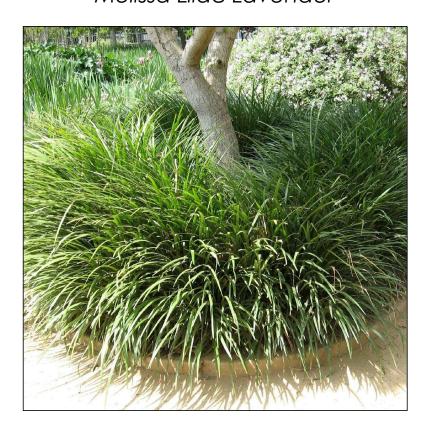
Sweetshade



Red Yucca



Melissa Lilac Lavender



Giant Lily Turf

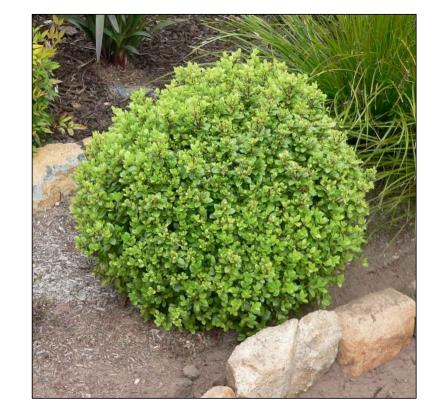
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FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL

PLANTING LEGEND FOR MORE INFORMATION.



Chinese Pistache



Golf Ball Kohuhu



Dwarf Mat Rush



Giant Chain Fern

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SHEET NO.

CLP-02

Lavender Star Flower



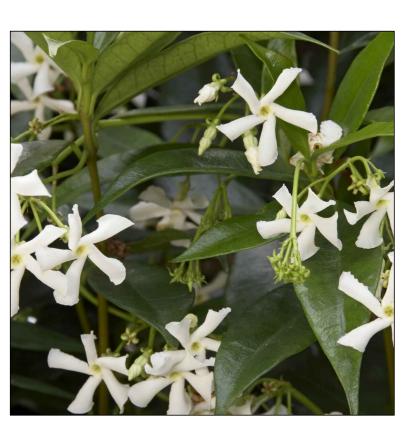
Moonshine Yarrow



Banks Rose



Blue Note Blue-Eyed Grass



Star Jasmine



Creeping Myoporum



Berkeley Sedge



Lowfast Cotoneaster



Cape Rush



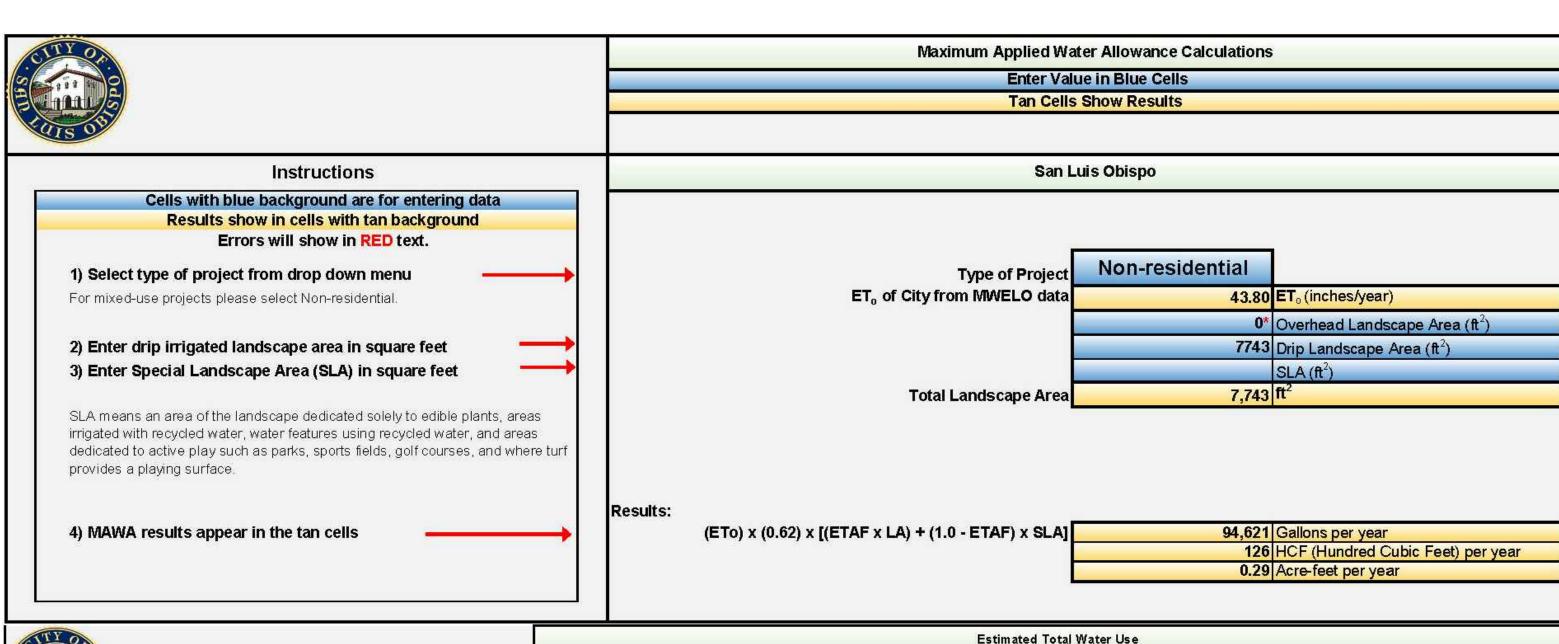
Prostrate Rosemary

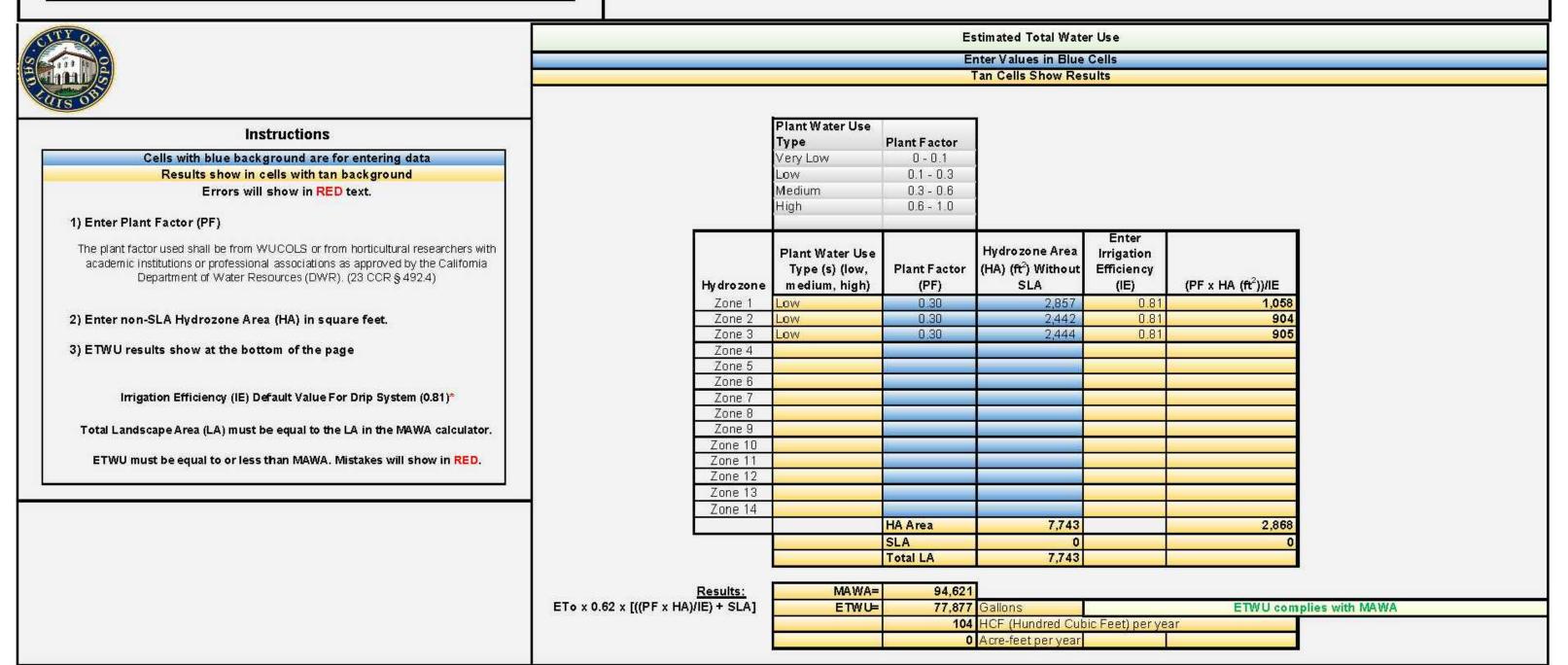


Elk Blue CA. Grey Rush



Pacific Mist Manzanita





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