

ROCKVIEW MODERNS

3063 ROCKVIEW PLACE, SAN LUIS OBISPO CA 93401

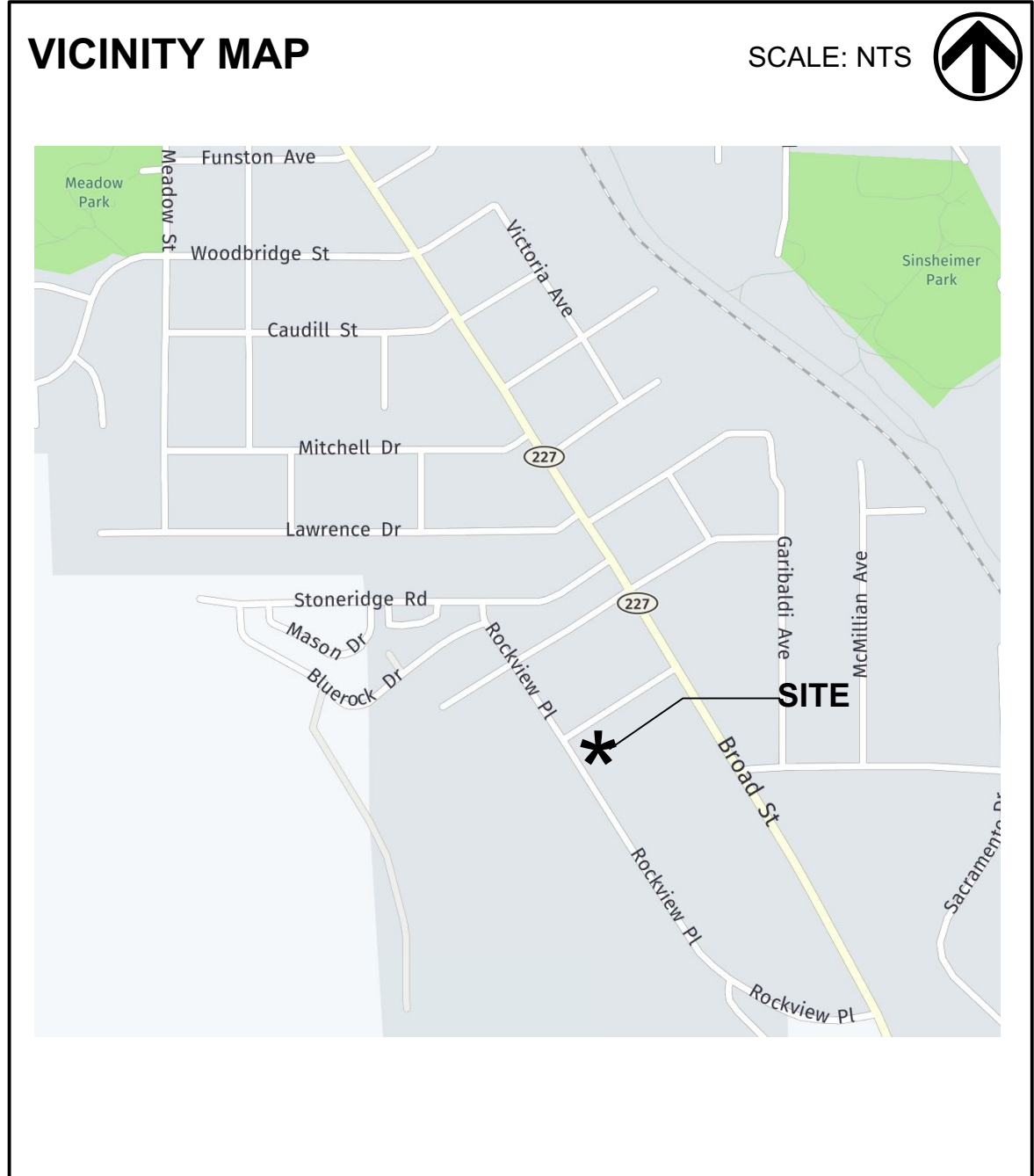
These drawings are instruments of service and are the property of studio 2G Architects, LLP. All design details and other information on these drawings are for the project and site only and are not to be used for any other project without the expressed and written permission of studio 2G Architects, LLP.



BUILDING MAINTENANCE AND OPERATION

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency, which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts
 - Space conditioning systems, including condensers and air filters
 - Landscape irrigation systems.
 - Water reuse systems
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60% and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5'0" away from the foundation
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building....etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency or this code.



PROJECT TEAM

OWNER / CLIENT
CONTACT: KEVIN TEIXEIRA
755 SANTA ROSA STREET, STE 300
SAN LUIS OBISPO, CA 93401
P: 805.898.3520

ARCHITECT
STUDIO 2G ARCHITECTS, LLP
ARCHITECT: HEIDI GIBSON
1541 MARSH ST
SAN LUIS OBISPO, CA 93401
P: 805.594.0771

LANDSCAPE ARCHITECT
PLEIN AIRE
LANDSCAPE ARCHITECT: KEVIN SMALL
2515 SKYWAY DRIVE STE B
SANTA MARIA CA 93455
P: 805.349.9695

STRUCTURAL AND CIVIL ENGINEER
ASHLEY & VANCE ENGINEERING
ENGINEER:
1413 MONTEREY ST
SAN LUIS OBISPO, CA 93401
P: 805.543.0010

MECHANICAL / PLUMBING ENGINEER
BRUMMEL MYRICK & ASSOCIATES
ARCHITECT: BEN BARRS
100 CROSS STREET
SAN LUIS OBISPO, CA 93401
P: 805.544.4269

SOILS
GEOSOLUTIONS, INC
ENGINEER: PATRICK B MCNEILL
220 HIGH STREET
SAN LUIS OBISPO, CA 93401
P: -

ELECTRICAL ENGINEER
THOMA ENGINEERING
ENGINEER: JAMES DEAN
3562 EMPLOYE SITE C
SAN LUIS OBISPO, CA 93401
P: 805.543.3850

ENERGY COMPLIANCE
CEEC
ENGINEER: MICHELLE DUNN
1675 GRANACHE WAY
TEMPLETON CA 93465
P: 805.434.3844

BOTANICAL SURVEY
TERRA VERDE ENVIRONMENTAL
BOTANIST: BROOK LANGLE
3765 SOUTH HIGUERA ST STE 102
SAN LUIS OBISPO, CA 93401
P: 805.896.5479

PROJECT INFO

PROJECT DESCRIPTION

THE ROCKVIEW MODERNS ARE A PROPOSED R-2 DEVELOPMENT OF (8) 1350 SQUARE FOOT SINGLE FAMILY DWELLINGS.

R-2 MEDIUM DENSITY RESIDENTIAL ZONE
THE R-2 ZONE IS INTENDED TO PROVIDE HOUSING OPPORTUNITIES FOR PEOPLE WHO WANT COMPACT RESIDENCES CLOSE TO COMMERCIAL AND PUBLIC SERVICE. (ORD. 941 §1 (PART), 1982; PRIOR CODES § 9203.2(A))

SITE SUMMARY

ADDRESS: 3063 Rockview Place San Luis Obispo, CA 93401
APN: 004-584-004
ZONE: R-2
CONSTRUCTION TYPE: Type V
CLIMATE ZONE: Zone 5

SHEET INDEX

ARC1.0	TITLE SHEET
AC0.2	ASSESSOR'S PARCEL MAP & SITE CONSTRAINTS
AC1.0	SITE DEVELOPMENT PLAN
AC1.1	ARCHITECTURAL SITE SECTION
A1.0	ARCHITECTURAL FLOOR PLANS & EXTERIOR ELEVATIONS
A1.1	PERSPECTIVE ELEVATIONS
C-0.1	CIVIL TITLE SHEET
C-0.2	CIVIL NOTES
C-1.1	VESTING TENTATIVE TRACT MAP
C-2.1	GRADING & DRAINAGE PLANS
C-3.1	UTILITY PLAN
C-4.1	DETAIL SHEET
C-5.1	EROSION CONTROL PLAN
C-5.2	EROSION CONTROL DETAILS
CLP-01	CONCEPTUAL LANDSCAPE
CLP-02	PLANT IMAGERY
CLP-03	PLANT IMAGERY
TOTAL:	17 SHEETS

SYMBOL LEGEND

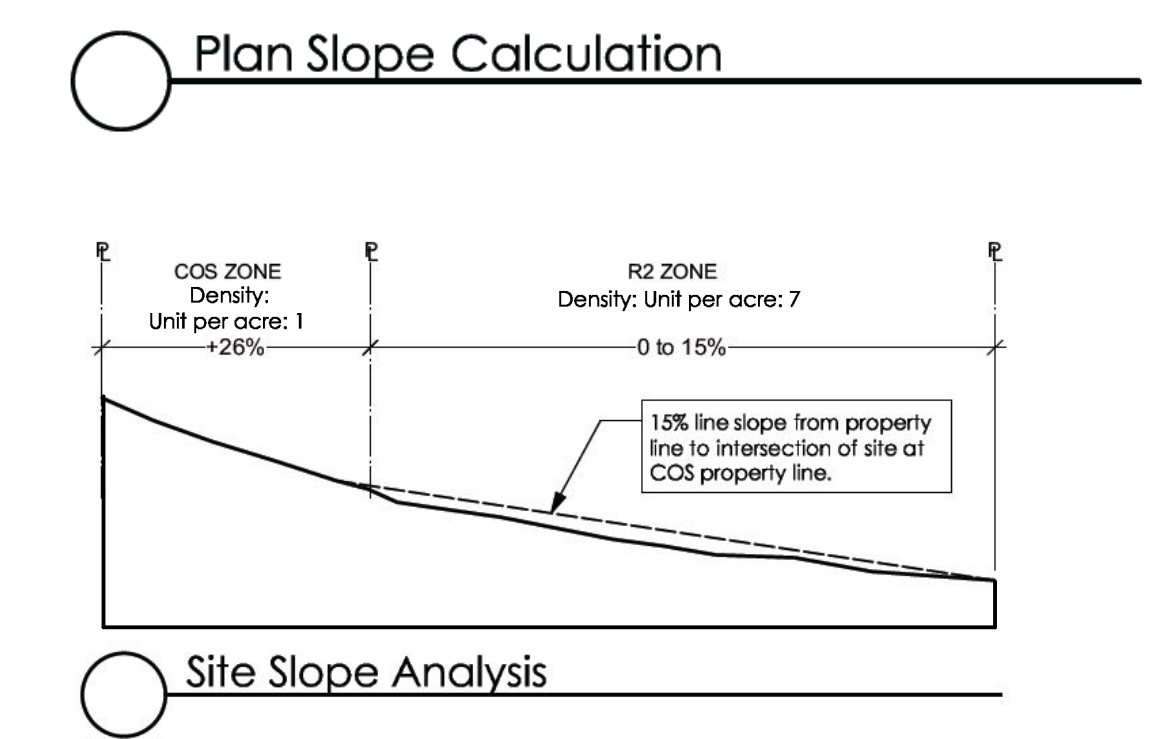
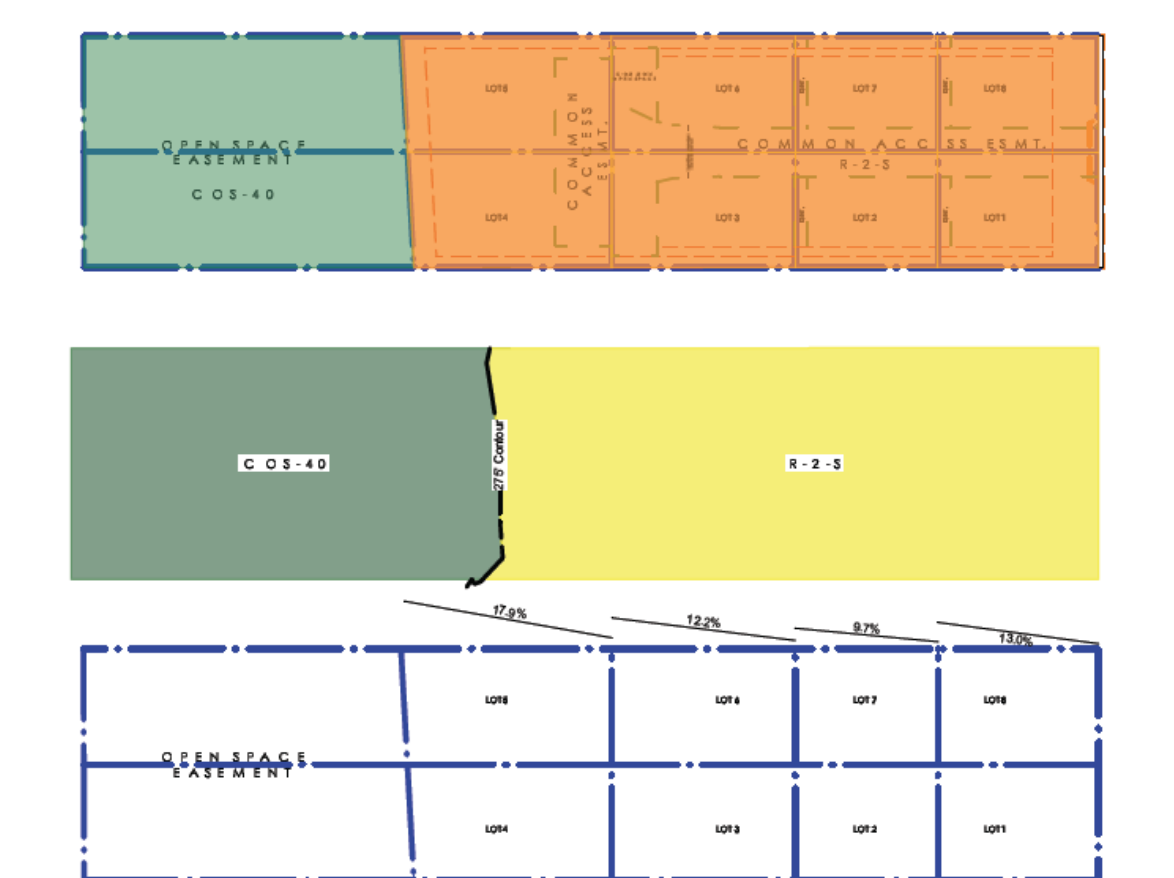
Indicates Direction Of View
Section Cut Reference
Sheet Number

Indicates Direction Of View
Interior Elevation Reference Number
Sheet Number

Door ID - Refer To Sheet A3.0
Sheet Number

Window ID - Refer To Sheet A3.1
Sheet Number

EXIT Exit Sign
Refer To Life Safety Plans and 'E' sheets for locations and requirements.



PROJECT REQUIREMENTS

This project shall comply with the 2016 California Building Code (CBC) and/or the California Residential Code (CRC).

Codes: All construction shall conform to the following codes:
2016 California Building Code Vol. 1 & 2 (2015 IBC)
2016 California Residential Code (2015 IRC)
2016 California Electrical Code (2014 NEC)
2016 California Mechanical Code (2015 UMC)
2016 California Plumbing Code (2015 UPC)
2016 California Energy Code
2016 California Fire Code (2015 IFC)
2016 Green Building Standards Code (CALGreen Code)
San Luis Obispo County Building and Construction Ordinance Title 19
San Luis Obispo County Coastal Zone Land Use Ordinance Title 23
San Luis Obispo County Fire Code Ordinance Title 16
San Luis Obispo County Land Use Ordinance Title 22

NEPA National Fire Codes, all other codes and ordinances adopted by the agencies having jurisdiction over this project.

All Amendments to the CA Codes adopted by the County of San Luis Obispo, and all other codes, regulations, and approvals established by the County of San Luis Obispo. This project is primarily governed by the CA Residential Code; only engineered structural components are subject to the CBC.

All work located within the public right of way or within the jurisdiction of the County Utilities and Public Works Departments shall comply with the most current edition of the engineering standards and standards specifications.

STATEMENT OF COMPLIANCE

This project has been designed in accordance with and meets the City of San Luis Obispo Adopted code and ordinance requirements including, but not limited to the California State Accessibility Standards and I/We will be responsible for all clarifications deemed necessary during the construction phases.

Signature _____ Date _____

AREAS

PROPERTY DEVELOPMENT STANDARDS

HILLSIDE SUBDIVISION §16.18.130 OPEN SPACE EASEMENT §18.18.130A

DENSITY

R-2 = 27,108 sq ft / 43560 sq ft = .62 Acres x 12 = 7.6 Density Units Allowed
COS = 18,258 sq ft = 1 Density Units Allowed

Total = 8 D.U. Allowed

PARKING	REQUIRED	PROPOSED	DEDICATION	AREA SQ FT
CARS PER UNIT	2 CARS	2 CARS	SIDEWALK	301 SQ. FT.
TOTAL FOR GUESTS	1 CAR	3 CARS		
SITE BICYCLE PARKING	1 BICYCLE	8 BICYCLES		

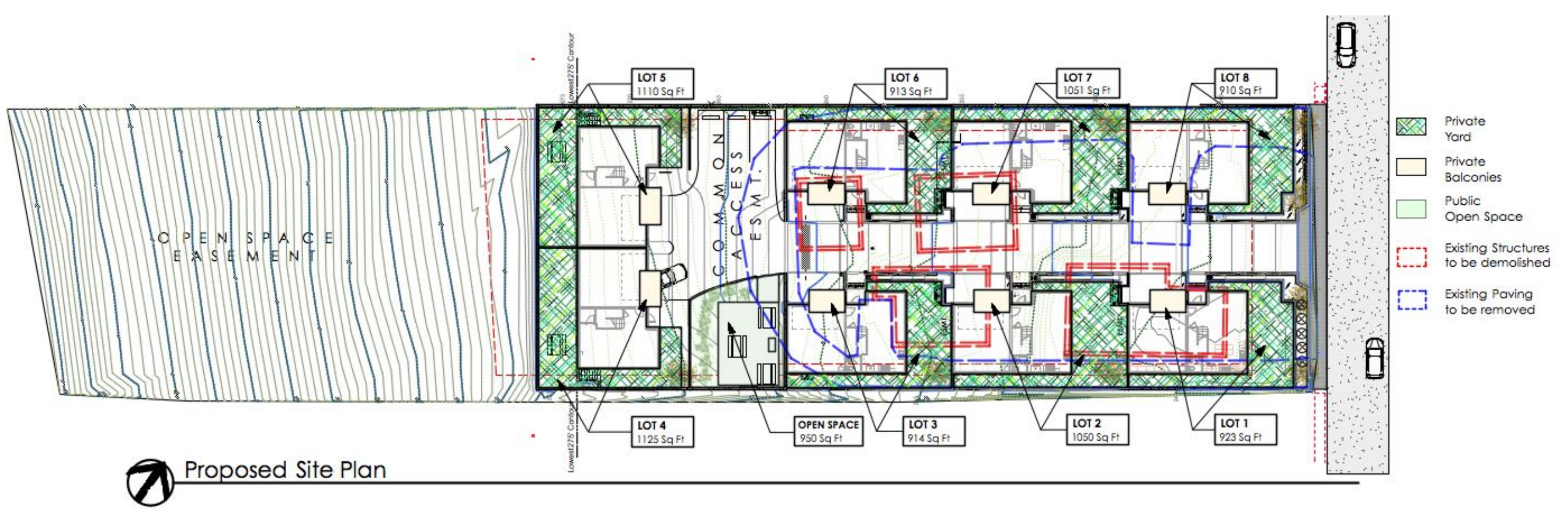
OPEN SPACE	REQUIRED AREA SQ FT	PROPOSED AREA SQ FT
PRIVATE OPEN SPACE EASEMENT PER §18.18.130A	2000 sq ft (250 sq ft)	4412 sq ft
OPEN SPACE EASEMENT PER §18.18.130A	400 sq ft	500 sq ft
COMMON SPACE PICNIC AREA PER §18.18.130A	1200 sq ft	1230.7 sq ft

BUILDING FORM REQUIREMENTS AND RESTRICTIONS

PER UNIT	REQUIRED	PROVIDED
STREET YARD	20'-0" SETBACK	Requesting an Exception for a patio trellis to extend 9' into setback
SIDE YARD	5'-0" SETBACK FOR 1' TO 12' WALL HEIGHTS 21'-22" (MAX BUILDING HEIGHT)	PROPOSED: 5'-0" 9'-0"
OVERALL BUILDING HEIGHT	MAX. 35'-0"	(PROPOSED) 22'-0" ABOVE NATURAL AVERAGE GRADE
FENCES	3' TO 6' IN YARD	3' WITH 5' SEPARATION AT FRONTAGE. SITE WALLS <6'-0"

AGENCIES & UTILITIES

CITY BUILDING COUNTY GOVERNMENT CTR. SAN LUIS OBISPO, CA 93401 805.781.5600	CITY LAW ENFORCEMENT 1585 KANSAS AVE. SAN LUIS OBISPO, CA 805.781.4550	SBC / AT&T SERVICE CENTER 1,800.310.2355 (RESIDENTIAL) 1,800.750.2355 (BUSINESS)
CITY PLANNING COUNTY GOVERNMENT CTR. SAN LUIS OBISPO, CA 93401 805.781.5600	CDF / SLO COUNTY FIRE 635 N. SANTA ROSA ST. SAN LUIS OBISPO, CA 805.543.4248	PG & E 4325 HIGUERA STREET SAN LUIS OBISPO, CA 805.546.5247
CITY HEALTH 2191 JOHNSON AVE. SAN LUIS OBISPO, CA 805.781.5500	UNDERGROUND SERVICES 1.800.842.2444	THE GAS COMPANY BUILDER SERVICES 750 INDUSTRIAL WAY SAN LUIS OBISPO, CA 93401 1.818.700.3693



PERMITS & SPECIAL INSPECTIONS:

Structural Special Inspections: Refer to Structural Sheet

Green Point Rated Checklist Verification provided by Central Coast Energy Compliance.

SOILS REPORT

The geotechnical engineering report prepared by Geo Solutions, Inc for Rockview Moderns subdivision at 3063 Rockview Place San Luis Obispo CA 93401

ROCKVIEW MODERNS
3063 ROCKVIEW PLACE
SAN LUIS OBISPO CA 93401
APN: 004584004

DATE	ISSUE
17OCT24	ARC SUBMITAL
18JAN24	TTM FINAL

JOB NUMBER
1718

TITLE SHEET

SHEET NUMBER
ARC1.0

TITLE SHEET

© 2017 studio2G Architects, LLP

THE ROCKVIEW MODERNS

3063 ROCKVIEW PLACE

SAN LUIS OBISPO, CA 93401

GOVERNING BUILDING CODES

ALL WORK, MATERIALS, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS THAT ARE CURRENTLY IN EFFECT:

- 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- TITLE 24, PART 1 CALIFORNIA CODE OF REGULATIONS (CCR),
- 2016 CALIFORNIA BUILDING CODE (CBC)
- TITLE 24, PART 2 CCR BASED ON 2015 IBC AND 2016 CA AMENDMENTS,
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- TITLE 24, PART 2.5 CCR BASED ON 2015 IRC AND 2016 CA AMENDMENTS,
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- TITLE 24, PART 3 CCR BASED ON 2014 NATIONAL ELECTRICAL CODE (NEC),
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- TITLE 24, PART 4 CCR BASED ON 2015 UNIFORM MECHANICAL CODE (UMC),
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- TITLE 24, PART 5 CCR BASED ON 2015 UNIFORM PLUMBING CODE (UPC),
- 2016 CALIFORNIA ENERGY CODE (CENC)
- TITLE 24, PART 6 CCR,
- 2016 CALIFORNIA FIRE CODE (CFC)
- TITLE 24, PART 9 CCR BASED ON 2015 IFC,
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- TITLE 24, PART 11 CCR AND 2016 CA AMENDMENTS,
- 2016 CALIFORNIA REFERENCE STANDARDS CODE
- TITLE 24, PART 12 CCR,
- 2014 COUNTY OF SAN LUIS OBISPO CONSTRUCTION AND FIRE CODES.

VICINITY MAP



PROJECT INFORMATION

CLIENT: TEIXEIRA CAPITAL PARTNERS III LLC
755 SANTA ROSA, SUITE 300
SAN LUIS OBISPO, CA 93401

ARCHITECT: STUDIO 2G ARCHITECTS, LLP
1540 MARSH STREET, SUITE 230
SAN LUIS OBISPO, CA 93401

GEOTECHNICAL: GEOSOLUTIONS, INC.
PATRICK MCNEILL
220 HIGH STREET
SAN LUIS OBISPO, CA 93401

SURVEYOR: JON McKELLAR
2605 SOUTH MILLER ST
SUITE 107
SANTA MARIA, CA 93455

APN: 004-584-004

SITE AREA: 0.89 AC
AREA DISTURBED: 0.63 AC

GRADING INFORMATION*

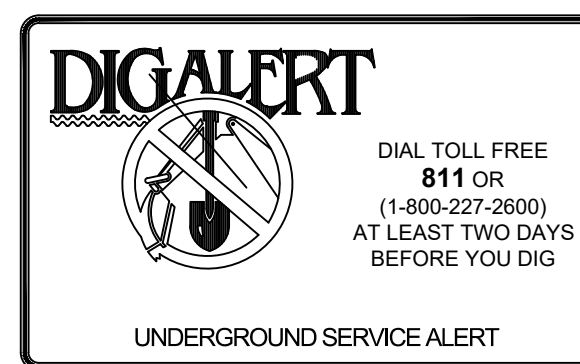
CUT QUANTITY: 2,900 CUBIC YARDS
FILL QUANTITY: 600 CUBIC YARDS
NET QUANTITY: 2,300 CUBIC YARDS EXPORT

*NOTE: THE ABOVE QUANTITIES ARE FOR PLANNING AND PERMITTING PURPOSES ONLY. SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS, LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS; AND TRENCHING FOR UTILITIES AND FOUNDATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISHED GRADES OR PAVEMENT SUBGRADES, AS INDICATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES. THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.

LEGEND

SD	STORM DRAINAGE
W	WATER SERVICE
G	GAS
S	SANITARY SEWER
E	POWER ELECTRICAL
- - - - -	DITCH / FLOWLINE
- - - - -	GRADING LIMIT
=====	PROPERTY LINE
-----	SETBACK LINE
-----	CENTERLINE
-----	SAWCUT
=====	PROPOSED STRUCTURE
-----	EXISTING STRUCTURE / WALL
-----	PROPOSED ROOF LINE
=====	PROPOSED RETAINING WALL
SF	SILT FENCE
FR	FIBER ROLL
IP	STORMDRAIN INLET PROTECTION
=====	CONSTRUCTION ENTRANCE

DIG ALERT



PRIOR TO COMMENCING OF ANY EXCAVATION, DIGGING, POT HOLING, ETC. CALL DIG ALERT FOR ASSIGNMENT OF AN INQUIRY ID NUMBER. BECAUSE NO EARTH WORK SHALL COMMENCE UNLESS THE CONTRACTOR HAS OBTAINED THIS AND EACH UTILITY OR OWNER OF SUBSURFACE FACILITIES HAS LOCATED AND MARKED THEIR SUBSURFACE FACILITIES IN THE AREA OF WORK.

DIAL TOLL FREE
811 OR
(1-800-227-2600)
AT LEAST TWO DAYS
BEFORE YOU DIG

SHEET INDEX

SHEET	SHEET TITLE
C-0.1	TITLE SHEET
C-0.2	NOTES SHEET
C-2.1	GRADING AND DRAINAGE PLAN
C-3.1	UTILITY PLAN
C-4.1	DETAIL SHEET
C-5.1	EROSION CONTROL PLAN
C-5.2	EROSION CONTROL DETAILS

SURVEY NOTES

EXISTING SURVEY INFORMATION FROM PLAN PREPARED BY JON McKELLAR DATED MAY 2017.

BASIS OF BEARINGS: BASIS OF BEARINGS IS THE CENTERLINE OF ROCKVIEW PLACE.

BENCHMARK: THE LOCAL BENCHMARK IS THE MONUMENT LOCATED IN THE TOP OF THE WESTERLY CURB NEAR THE INTERSECTION OF ROCKVIEW PLACE AND SWEENEY, (BM #345) ELEVATION 243.41', NAVD 88

NOTE:

- SURVEY INFORMATION IN THIS PLAN SET IS NOT A BOUNDARY SURVEY. PROPERTY LINES, SETBACKS, AND EASEMENT INFORMATION SHOWN IS FOR REFERENCE ONLY.
- CONFIRM BENCHMARK DATA AND CONDITION WITH PROJECT SURVEYOR PRIOR TO USE. THE SURVEYOR MUST PROVIDE THE ENGINEER WITH THE SURVEY CONTROL NOTES, CONTROL COORDINATES, AND SURVEY NOTES.

SURVEY MONUMENT PROTECTION:

PROTECT AND PRESERVE, IN PLACE, ALL SURVEY MONUMENTS AND BENCHMARKS. DO NOT DISTURB, MOVE, OR RELOCATE MONUMENTS OR BENCHMARKS WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE AGENCY HAVING JURISDICTION OVER THE MONUMENT OR BENCHMARK. THE CONTRACTOR SHALL CONTRACT WITH A LICENSED SURVEYOR FOR MONUMENTS REQUIRING DISTURBANCE OR REMOVAL, AND THE SURVEYOR SHALL RESET THE MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE AUTHORITY HAVING JURISDICTION, PURSUANT TO ALL APPLICABLE BUSINESS AND PROFESSIONAL CODES.

UTILITY PURVEYORS

ELECTRICITY: P G & E COMPANY
406 HIGUERA ST
SAN LUIS OBISPO, CA 93401
805-743-5000

NATURAL GAS: SOUTHERN CALIFORNIA GAS COMPANY
P.O. BOX C
MONTEREY PARK, CA 91756
(800)-427-2200

TELEPHONE: A T & T
984 MILL ST.
SAN LUIS OBISPO, CA 93402
1-800-750-2355

CABLE TV: CHARTER COMMUNICATIONS
7775 SAN LUIS AVE.
ATASCADERO, CA 93422

WATER/SEWER: CITY OF SAN LUIS OBISPO
UTILITIES DEPARTMENT
879 MORRO ST
SAN LUIS OBISPO, CA 93401

STANDARD ABBREVIATIONS

AC	ASPHALTIC CONCRETE	IE	INVERT ELEVATION
BLDG	BUILDING	INV	INVERT
BCR	BEGIN CURB RETURN	LA	LANDSCAPE AREA
BVC	BEGIN VERTICAL CURVE	NG	NATURAL GRADE
BW	BOTTOM OF WALL	PA	PLANTER AREA
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
C/L	CENTERLINE	P/L	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	POC	POINT OF CONNECTION
CONC	CONCRETE	PS	PARKING STRIPE
DW	DRIVEWAY	PVC	POLYVINYL CHLORIDE
ECR	END CURB RETURN	RW	RIGHT OF WAY
EG	EXISTING GRADE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SG	SUB-GRADE ELEVATION
EVC	END VERTICAL CURVE	SS	SANITARY SEWER
FF	FINISHED FLOOR	TC	TOP OF CURB, CONCRETE
FG	FINISHED GRADE	TF	TOP OF FOOTING
FH	FIRE HYDRANT	TG	TOP OF GRATE
FL	FLOW LINE	TW	TOP OF WALL
FS	FINISHED SURFACE	VC	VERTICAL CURVE
GB	GRADE BREAK		

THE ROCKVIEW MODERNS
3063 ROCKVIEW PLACE
SAN LUIS OBISPO, CA 93401

Project:

Revisions:

△	-
△	-
△	-
△	-
△	-

Proj. Engr.: ZRB Phone Ext.: 226

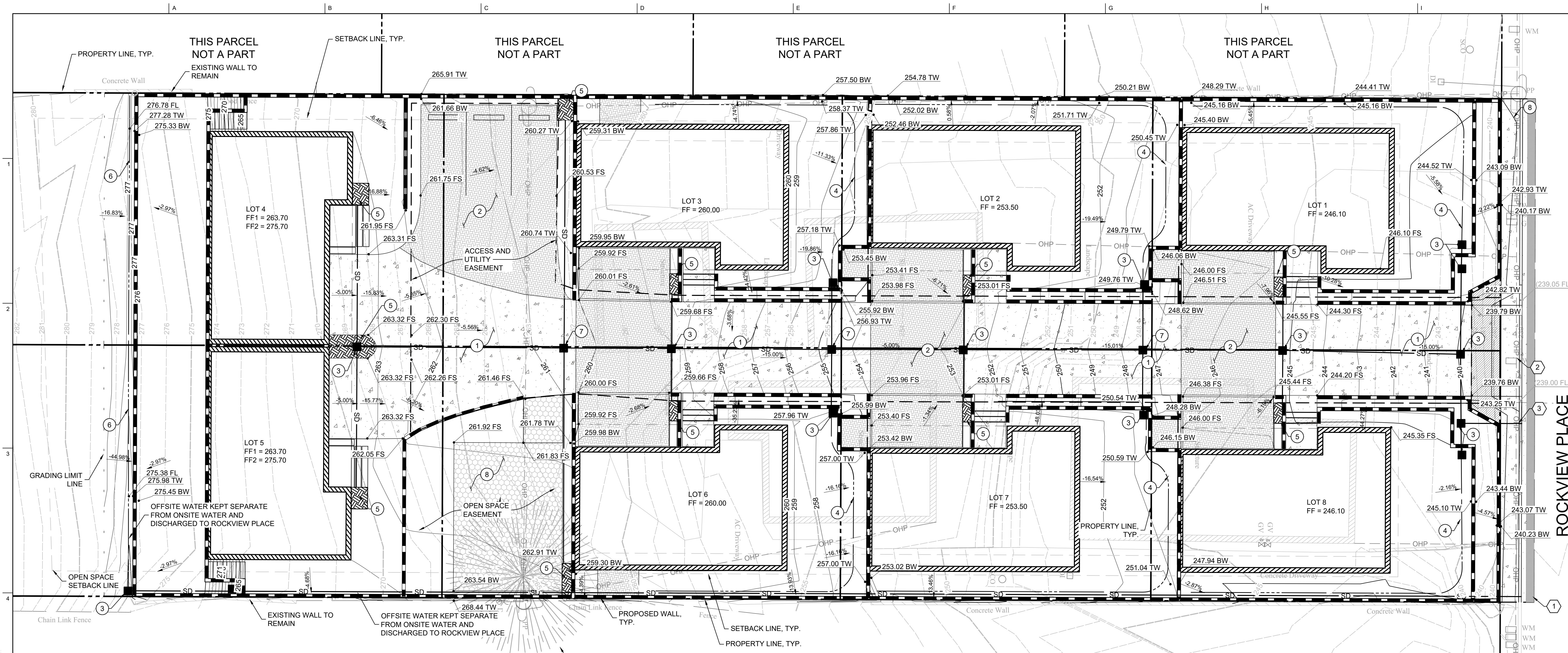
Proj. Mngr.: K88 Phone Ext.: 119

Date: 05.03.2018 Scale: PER PLAN

A&V Job No.: 17110

TITLE SHEET

C-0.1



GENERAL NOTES:

ALL DEMOLITION AND GRADING SHALL BE IN COMPLIANCE WITH THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT PREPARED BY GEO SOLUTIONS, FILE NO. SL09755-1, DATED JULY 1, 2017 AND ALL ADDENDA TO THE REPORT SHALL BE CONSIDERED PART OF THESE PLANS. CONTRACTOR SHALL CONTACT SOILS ENGINEER PRIOR TO START OF DEMOLITION WORK.

CONTACT: PATRICK B. MCNEILL, PE PHONE: (805) 614-6333

NO WORK SHALL BE PERFORMED ON ADJACENT PROPERTY OR THAT AFFECTS ADJACENT IMPROVEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF RESPECTIVE OWNER(S) AND ACKNOWLEDGEMENT OF THE CITY REPRESENTATIVE.

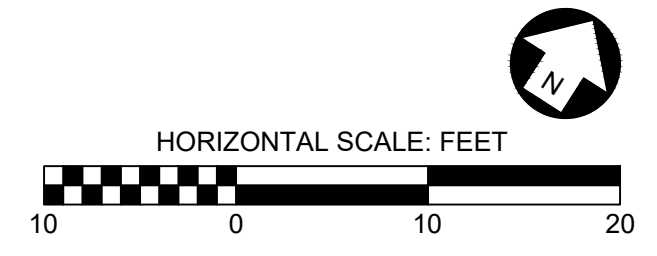
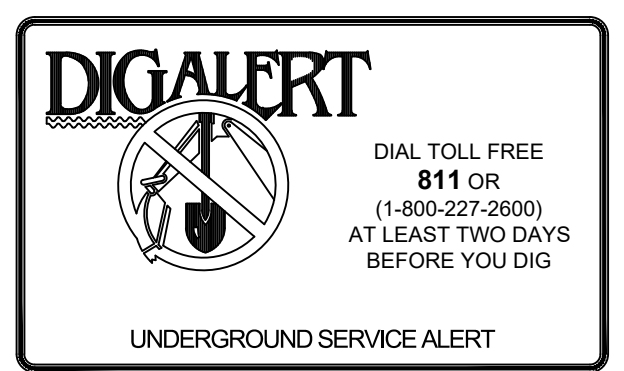
SEE SHEET C-3.1 FOR UTILITY INFORMATION.

RIGHT OF WAY CONSTRUCTION NOTES:

- ① SAWCUT AND REPLACE PAVEMENT PER CITY OF SAN LUIS OBISPO DRAWING 4110.
- ② CONSTRUCT 18' WIDE DRIVEWAY PER CITY OF SAN LUIS OBISPO DRAWING 2110.
- ③ CONSTRUCT SIDEWALK UNDERDRAIN PER CITY OF SAN LUIS OBISPO DRAWING 3410.

SITE CONSTRUCTION NOTES:

- ① CONSTRUCT CONCRETE PAVING SECTION.
- ② CONSTRUCT PAVER SECTION WITH ROCK STORAGE. SEE DETAIL "1", SHEET C-4.1.
- ③ CONSTRUCT STORM DRAIN INLET AND ADJACENT STORM DRAIN PIPING.
- ④ CONSTRUCT BIOINFILTRATION SWALE.
- ⑤ CONSTRUCT UNDERDRAINED BIOINFILTRATION PLANTER.
- ⑥ CONSTRUCT CONCRETE INTERCEPTOR SWALE.
- ⑦ CONSTRUCT SOLID LID STORM DRAIN JUNCTION BOX AND ADJACENT STORM DRAIN PIPING.
- ⑧ CONSTRUCT CRUSHED GRAVEL SECTION.



THIS PARCEL NOT A PART

Ashley & Vance
ENGINEERING, INC.

113 W. Chestnut Street
Bellingham, WA 98225
www.ashleyvance.com (360) 746-8020 • (805) 545-0010
CIVIL • STRUCTURAL

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

Plan Prepared By: ROCKVIEW PLACE

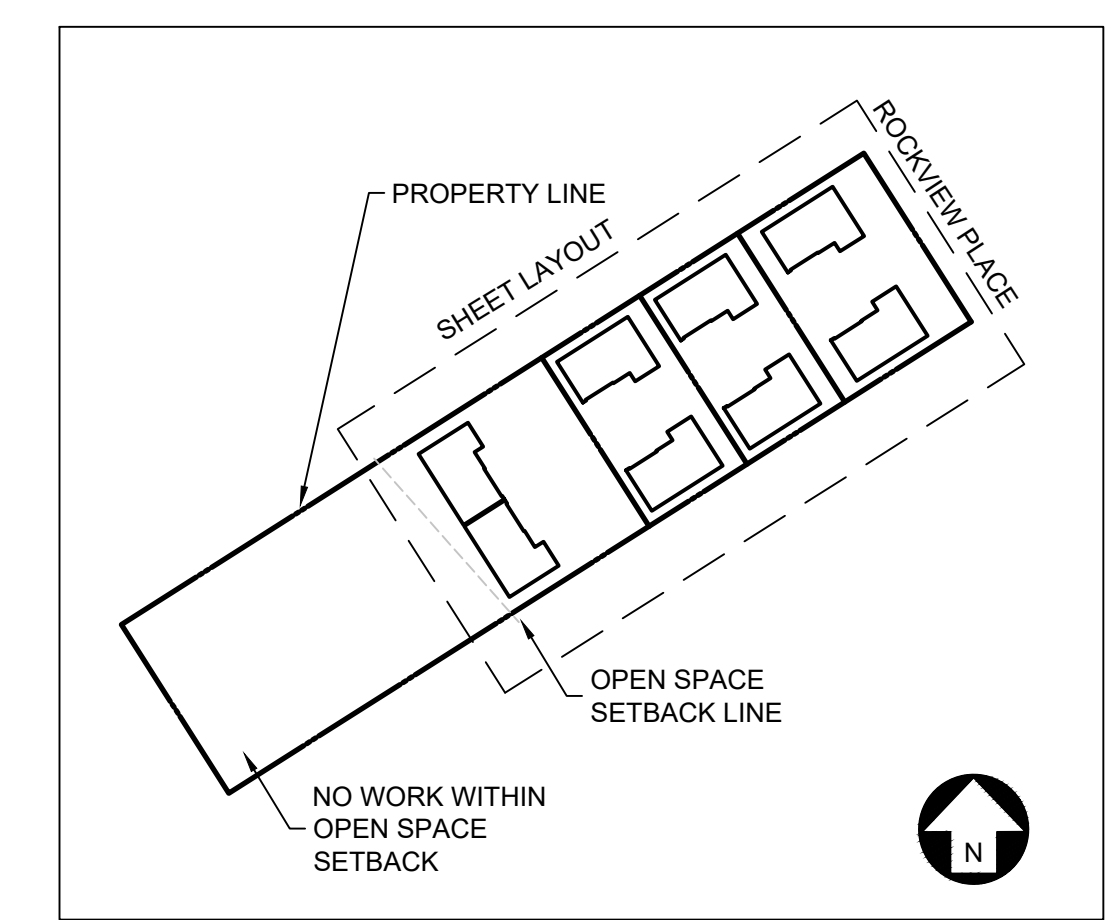
THE ROCKVIEW MODERNS
3063 ROCKVIEW PLACE
SAN LUIS OBISPO, CA 93401

Project: _____

Revisions:

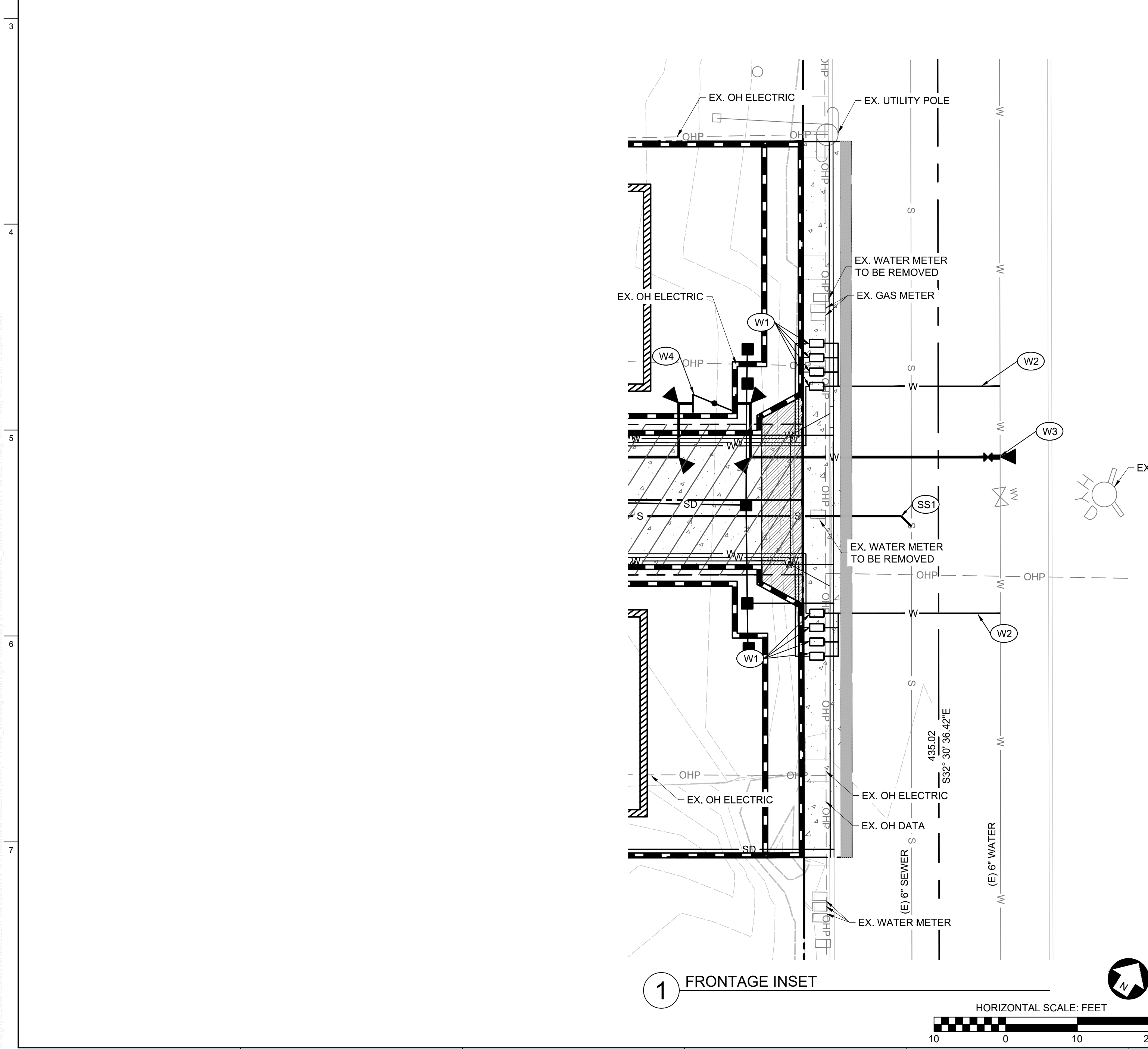
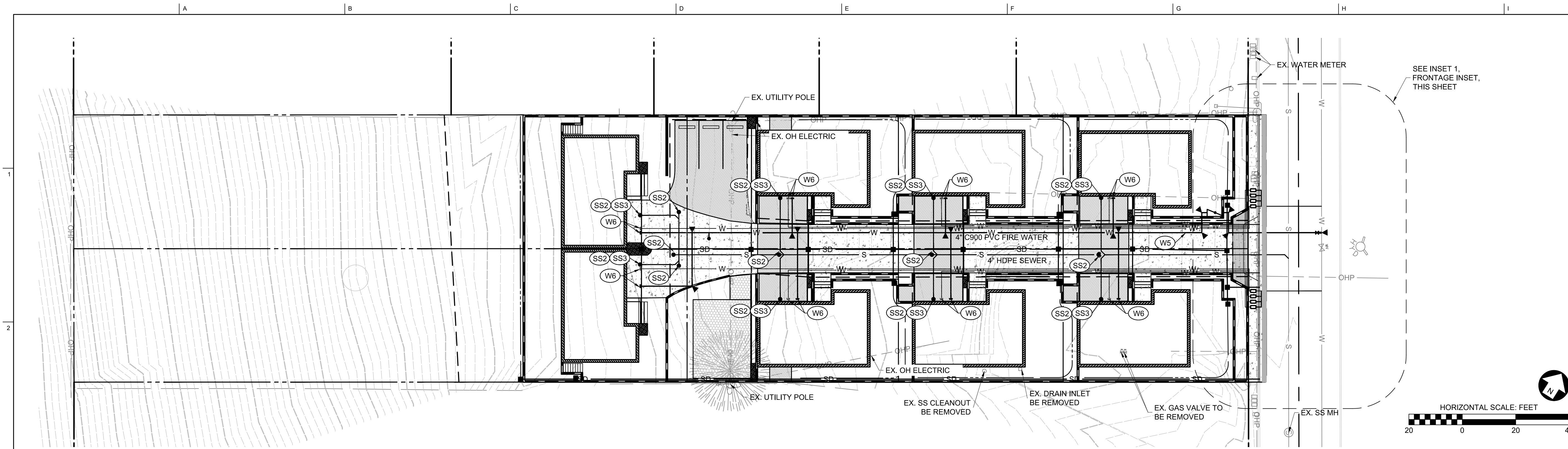
1	
2	
3	
4	

Proj. Engr.: ZRB Phone Ext.: 226
Proj. Mngr.: KBB Phone Ext.: 119
Date: 05.03.2018 Scale: PER PLAN
A&V Job No.: 17110



GRADING AND DRAINAGE PLAN

C-2.1



GENERAL NOTES:

ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST KNOWLEDGE AVAILABLE. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES. MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS, ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY.

GAS, ELECTRICAL, DATA, AND ALL OTHER UTILITIES BY OTHERS.

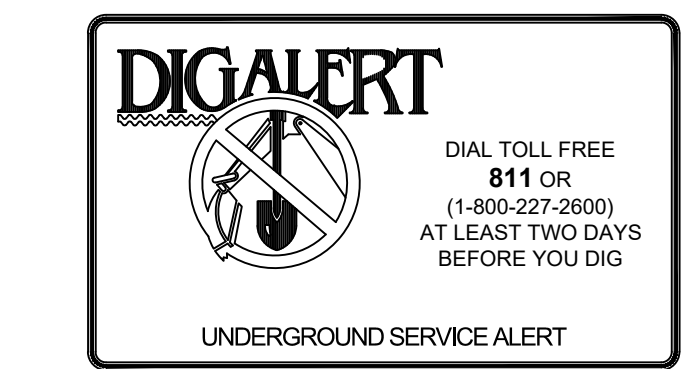
SEE SHEET C-2.1 FOR STORM DRAINAGE INFORMATION.

SANITARY SEWER CONSTRUCTION NOTES:

- (SS1) CONSTRUCT 4" HDPE SANITARY SEWER LATERAL PER CITY OF SAN LUIS OBISPO STANDARD DETAIL 6810 AND 6020.
- (SS2) INSTALL SEWER CLEANOUT PER CITY OF SAN LUIS OBISPO STANDARD DETAIL 6710.
- (SS3) SEWER POINT OF CONNECTION AT BUILDING. SEE MECHANICAL PLANS.

WATER CONSTRUCTION NOTES:

- (W1) INSTALL 1" WATER SERVICE WITH 1" METER PER CITY OF SAN LUIS OBISPO STANDARD DETAIL 6210 AND 6020. SEE MECHANICAL PLANS FOR SIZE FROM METER TO BUILDING.
- (W2) INSTALL 2" WATER SERVICE WITH 1" WATER MANIFOLD PER CITY OF SAN LUIS OBISPO STANDARD DETAIL 6210 AND 6260.
- (W3) INSTALL 4" PVC FIRE LINE PER CITY OF SAN LUIS OBISPO STANDARD DETAIL 6530 AND 6020. FIRE SPRINKLER ENGINEER TO VERIFY SERVICE SIZE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- (W4) INSTALL 4" FIRE DOUBLE CHECK VALVE PER CITY OF SAN LUIS OBISPO STANDARD DETAIL 6420.
- (W5) RESIDENTIAL FIRE LINE. SEE FIRE SPRINKLER PLANS.
- (W6) WATER POINT OF CONNECTION AT BUILDING. SEE MECHANICAL PLANS.



The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

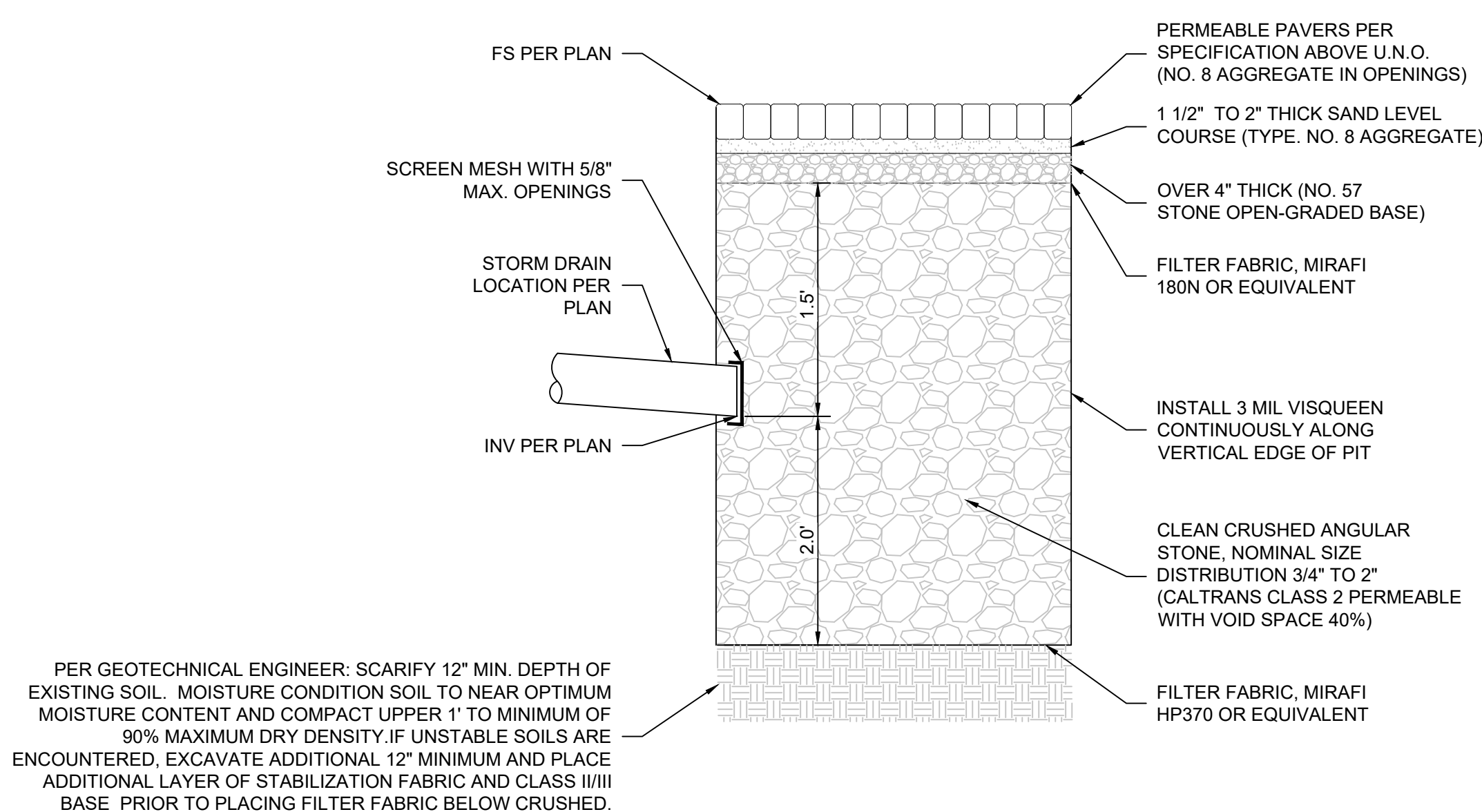
THE ROCKVIEW MODERNS
 3063 ROCKVIEW PLACE
 SAN LUIS OBISPO, CA 93401

Project:			
Revisions:			
1			
2			
3			
4			
5			
Proj. Engr.:	ZRB	Phone Ext.:	226
Proj. Mngr.:	KBB	Phone Ext.:	119
Date:	05.03.2018	Scale:	PER PLAN
A&V Job No.:	17110		

UTILITY PLAN
C-3.1

A B C D E F G H I

1
2
3
4
5
6
7



1 PERMEABLE PAVER DETAIL W/ GRAVEL PIT BELOW

Ashley & Vance
ENGINEERING, INC.

113 W. Chestnut Street
Bellingham, WA 98225

www.ashleyvance.com (360) 746-8020 • (805) 545-0010
CIVIL • STRUCTURAL

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

THE ROCKVIEW MODERNS
3063 ROCKVIEW PLACE
SAN LUIS OBISPO, CA 93401

Project:

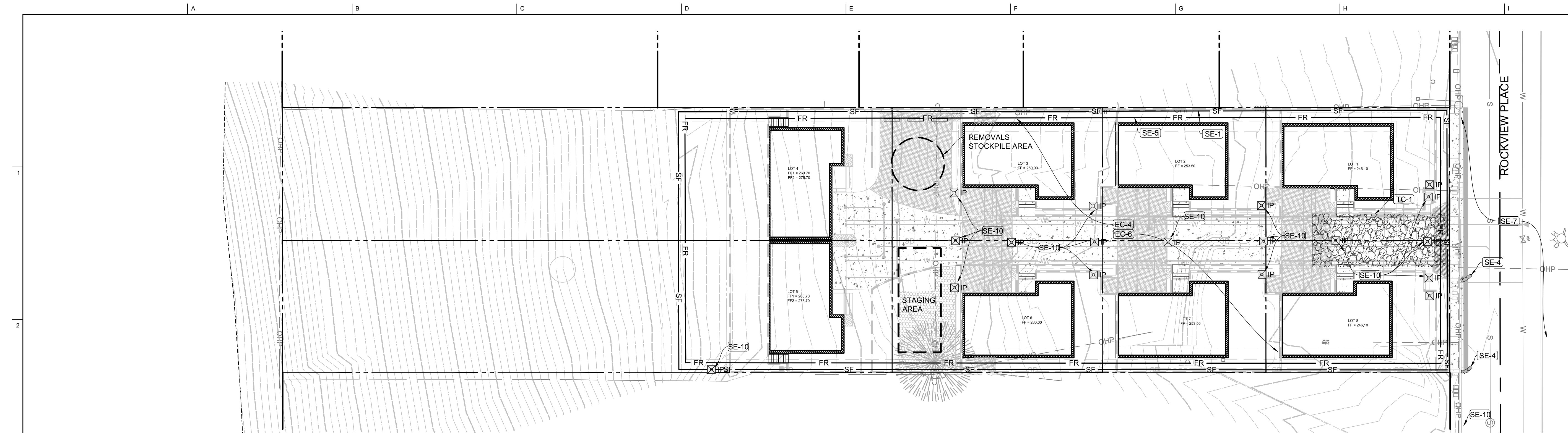
Revisions:	
1	
2	
3	
4	
5	

Proj. Engr.:	ZRB	Phone Ext.:	226
Proj. Mngr.:	KBB	Phone Ext.:	119
Date:	05.03.2018	Scale:	PER PLAN
A&V Job No.:	17110		

DETAIL SHEET

C-4.1

A B C D E F G H I



BMP SELECTION & LEGEND:

BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF THE CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CASQA.ORG.

THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:

- (EC-1) PROJECT SCHEDULING
- (EC-2) PRESERVATION OF EXISTING VEGETATION
- (NS-1) WATER CONSERVATION
- (NS-3) PAVING AND GRINDING
- (NS-6) DISCHARGE REPORTING
- (NS-7) POTABLE WATER / IRRIGATION
- (NS-8) VEHICLE CLEANING
- (NS-9) VEHICLE FUELING
- (NS-10) VEHICLE MAINTENANCE
- (WE-1) WIND EROSION CONTROL

THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:

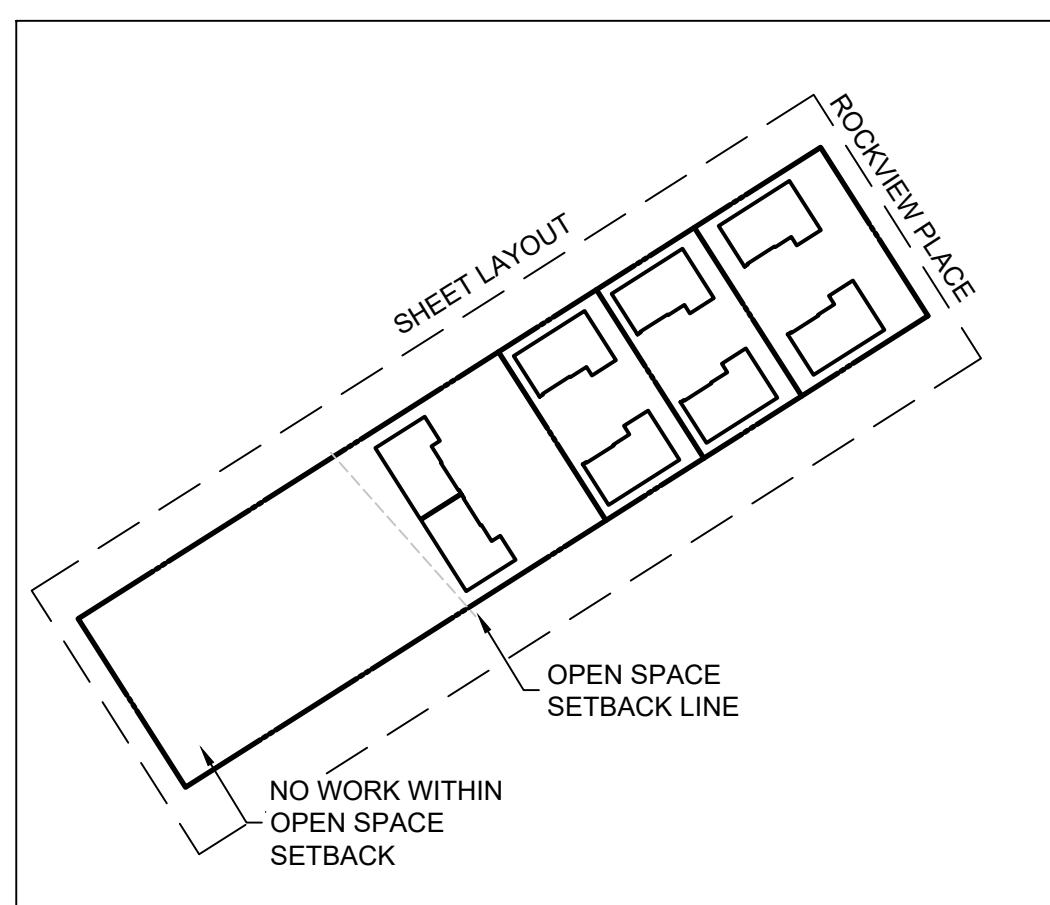
- (WM-1) MATERIAL STORAGE
- (WM-2) MATERIAL USAGE
- (WM-3) STOCK PILE MANAGEMENT
- (WM-4) SPILL PREVENTION KIT
- (WM-5) SOLID WASTE (TRASH)
- (WM-8) CONCRETE WASTE (WASH OUT)
- (WM-9) SEPTIC / SANITARY FACILITIES

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN AND ARE TO BE INSTALLED OR CONSTRUCTED PER DETAIL REFERENCES:

- (EC-4) HYDROSEEDING
- (EC-6) STRAW MULCH
- (SE-1) SILT FENCING, SEE DETAIL SE-1, SHEET C-5.2
- (SE-4) CHECK DAM, SEE DETAIL SE-4, SHEET C-5.2
- (SE-5) FIBER ROLLS, SEE DETAIL SE-5, SHEET C-5.2
- (SE-7) STREET SWEEPING AND VACUUMING
- (SE-10) INLET PROTECTION
- (TC-1) STABILIZED CONSTRUCTION ENTRANCE/EXIT, SEE DETAIL TC-1, SHEET C-5.2

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES FOR WIND, WATER, MATERIAL STOCKPILES, AND TRACKING SHALL BE IMPLEMENTED ON ALL PROJECTS AT ALL TIMES AND SHALL INCLUDE SOURCE CONTROL, INCLUDING PROTECTION OF STOCKPILES, PROTECTION OF SLOPES, PROTECTION OF ALL DISTURBED AREAS, PROTECTION OF ACCESSES, AND PERIMETER CONTAINMENT MEASURES. EROSION CONTROL SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF GRADING AND SITE DISTURBANCE ACTIVITIES UNLESS THE PUBLIC WORKS DEPARTMENT DETERMINES TEMPORARY MEASURES TO BE UNNECESSARY BASED UPON LOCATION, SITE CHARACTERISTICS OR TIME OF YEAR. THE INTENT OF EROSION CONTROL MEASURES SHALL BE TO KEEP ALL GENERATED SEDIMENTS FROM ENTERING A SWALE, DRAINAGE WAY, WATERCOURSE, ATMOSPHERE, OR MIGRATE ONTO ADJACENT PROPERTIES OR ONTO THE PUBLIC RIGHT-OF-WAY.
2. SITE INSPECTIONS AND APPROPRIATE MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES SHALL BE CONDUCTED AND DOCUMENTED AT ALL TIMES DURING CONSTRUCTION AND ESPECIALLY PRIOR TO, DURING, AND AFTER RAIN EVENTS.
3. THE OWNER, OR OWNER'S REPRESENTATIVE, SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES AS SPECIFIED BY THE APPROVED PLAN UNTIL SUCH TIME THAT THE PROJECT IS ACCEPTED AS COMPLETE BY THE AUTHORITY HAVING JURISDICTION OR UNTIL RELEASED FROM THE CONDITIONS OF APPROVAL OF THEIR GENERAL PERMIT. EROSION CONTROL MEASURES/DEVICES MAY BE RELOCATED, DELETED OR ADDITIONAL MEASURES/DEVICES MAY BE REQUIRED DEPENDING ON THE ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THEIR DISCRETION OVER THE LIFE OF THE PROJECT TO PREVENT THE RUNOFF OF SEDIMENT AND POLLUTANTS FROM THE PROJECT SITE. ADDITIONAL EROSION CONTROL MEASURES/DEVICES SHALL BE PLACED AT THE DISCRETION OF THE ENGINEER OF WORK, INSPECTOR, QUALIFIED SWPPP PRACTITIONER (OSP) (IF A SWPPP IS IN PLACE FOR THE PROJECT), OR RWQCB INSPECTOR. GUIDELINES FOR DETERMINING APPROPRIATE EROSION CONTROL DEVICES SHALL BE INCLUDED IN THE PLANS WITH ADDITIONAL MEASURES/DEVICES NOTED FROM THE APPENDIX OF THE PUBLIC IMPROVEMENT STANDARDS.
4. WET WEATHER EROSION CONTROL MEASURES/DEVICES SHALL BE AVAILABLE, INSTALLED, AND/OR APPLIED BETWEEN OCTOBER 15 AND APRIL 15 OR ANYTIME WHEN THE RAIN PROBABILITY EXCEEDS 30%.
5. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE TO REVIEW THE PROJECT SITE PRIOR TO OCTOBER 15 (RAINY SEASON) AND TO COORDINATE AN IMPLEMENTATION PLAN FOR WET WEATHER EROSION CONTROL DEVICES. A LOCALLY BASED STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE AND STOCK PILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OR MAINTENANCE OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
6. IN THE EVENT OF A FAILURE, THE DEVELOPER AND/OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGE. IN THE EVENT THAT DAMAGE OCCURS WITHIN THE RIGHT-OF-WAY AND THE CITY IS REQUIRED TO PERFORM CLEANUP, THE OWNER SHALL BE RESPONSIBLE FOR REIMBURSEMENT OF ALL ASSOCIATED COSTS OR DAMAGE.
7. IN THE EVENT OF FAILURE AND/OR LACK OF PERFORMANCE BY THE OWNER AND/OR CONTRACTOR TO CORRECT EROSION CONTROL RELATED PROBLEMS, THE PUBLIC WORKS DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH THE LAND USE ORDINANCE.
8. PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES, PRIOR TO FINAL INSPECTION. PERMANENT EROSION CONTROL SHALL BE FULLY ESTABLISHED PRIOR TO FINAL ACCEPTANCE. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT MEASURES ARE ESTABLISHED. THE AIR POLLUTION CONTROL DISTRICT (APCD) MAY HAVE ADDITIONAL PROJECT SPECIFIC EROSION CONTROL REQUIREMENTS. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE FOR MAINTAINING SELF-REGULATION OF THESE REQUIREMENTS.
- 9.



KEY MAP NTS

Ashley & Vance
 ENGINEERING, INC.
 113 W. Chestnut Street
 Bellingham, WA 98225
 www.ashleyvance.com (360) 746-8020 • (805) 545-0010
 CIVIL • STRUCTURAL

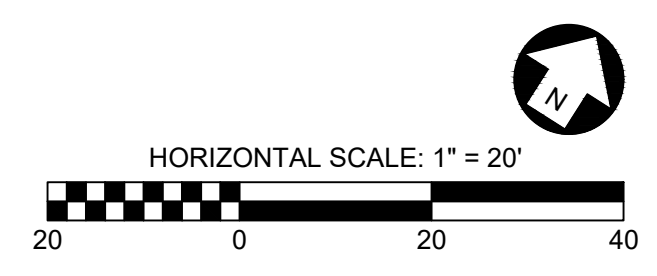
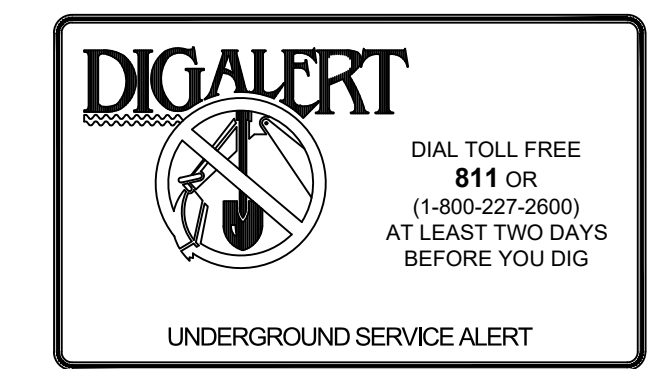
The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

THE ROCKVIEW MODERNS
 3063 ROCKVIEW PLACE
 SAN LUIS OBISPO, CA 93401

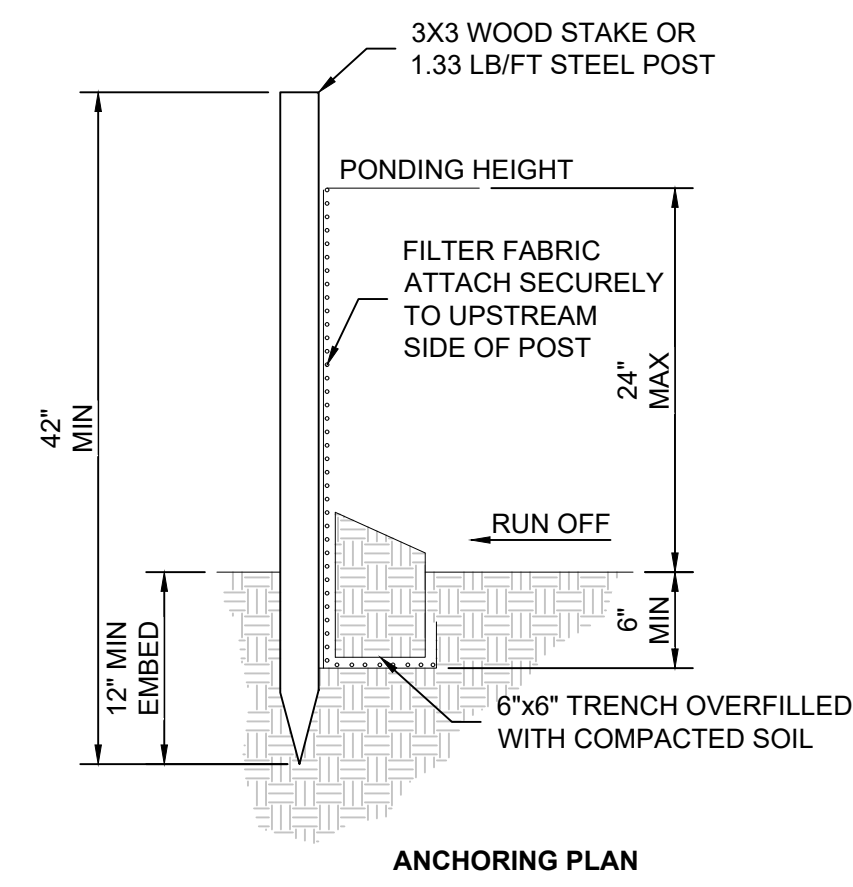
Project:

Revisions:		
1		
2		
3		
4		
5		

Proj. Engr.: ZRB Phone Ext.: 226
 Proj. Mngr.: KBB Phone Ext.: 119
 Date: 05.03.2018 Scale: PER PLAN
 A&V Job No.: 17110

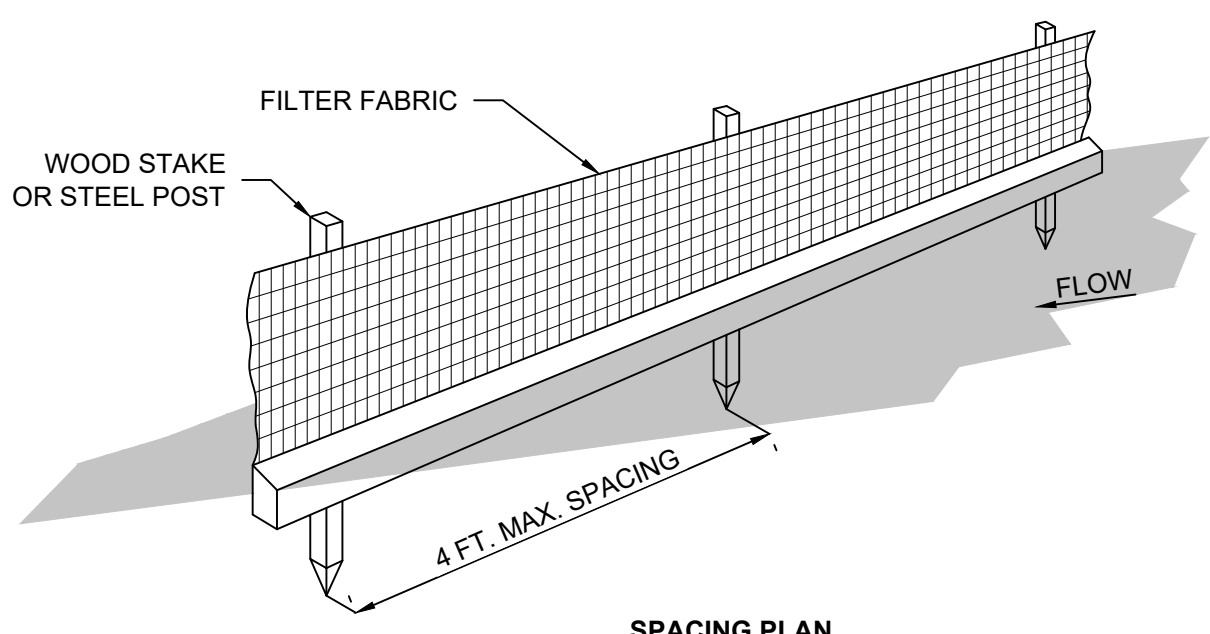


EROSION CONTROL PLAN
C-5.1



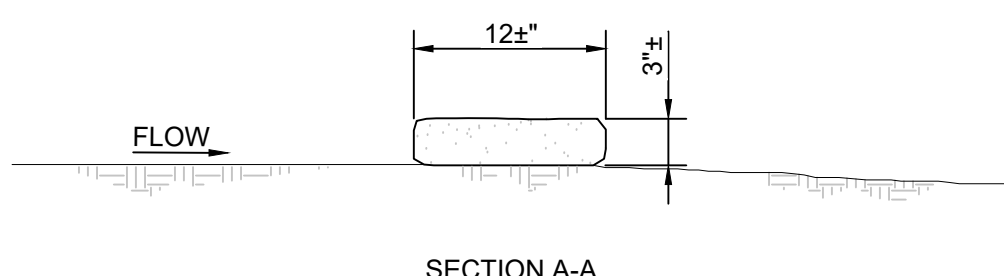
ANCHORING PLAN

NOTE: WITH ENGINEER'S ACCEPTANCE, CHAIN LINK FENCING MAY BE USED TO SUPPORT FILTER FABRIC.

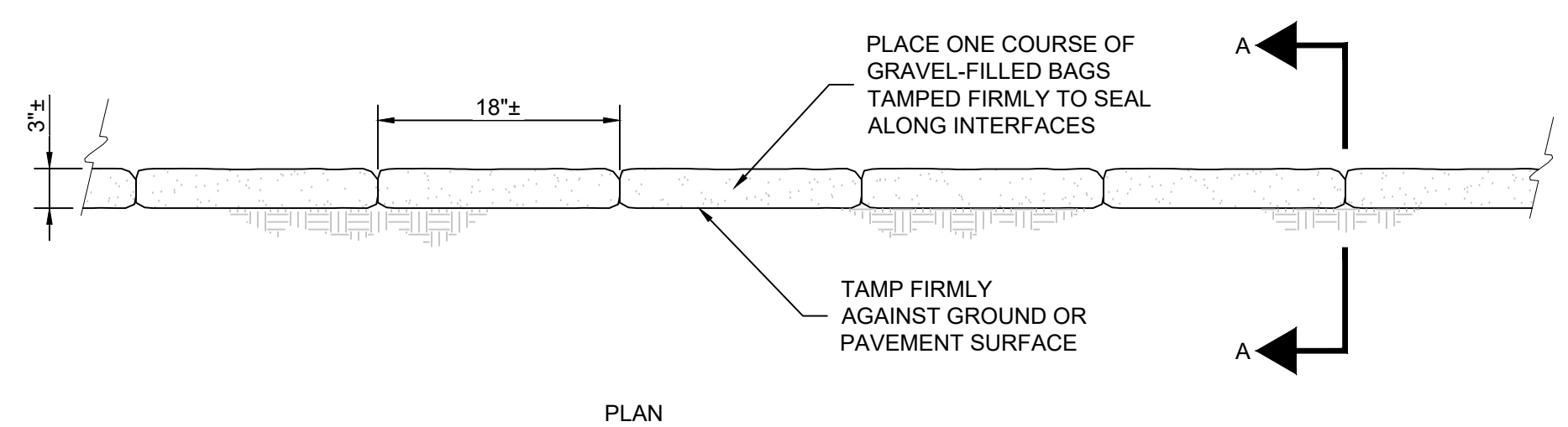


SPACING PLAN

SE-1 SILT FENCE SCALE: NTS

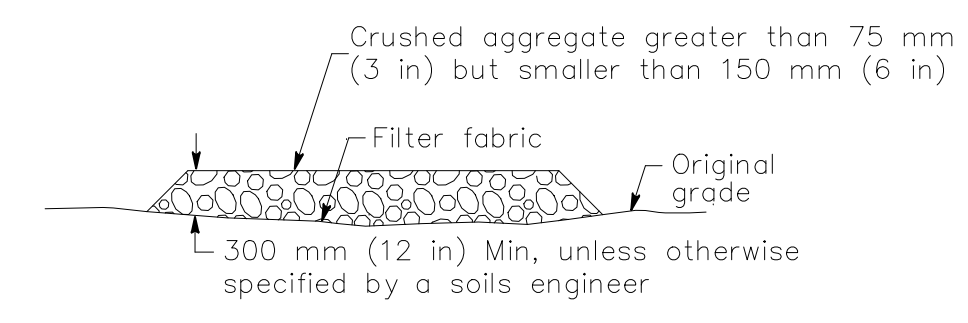


SECTION A-A

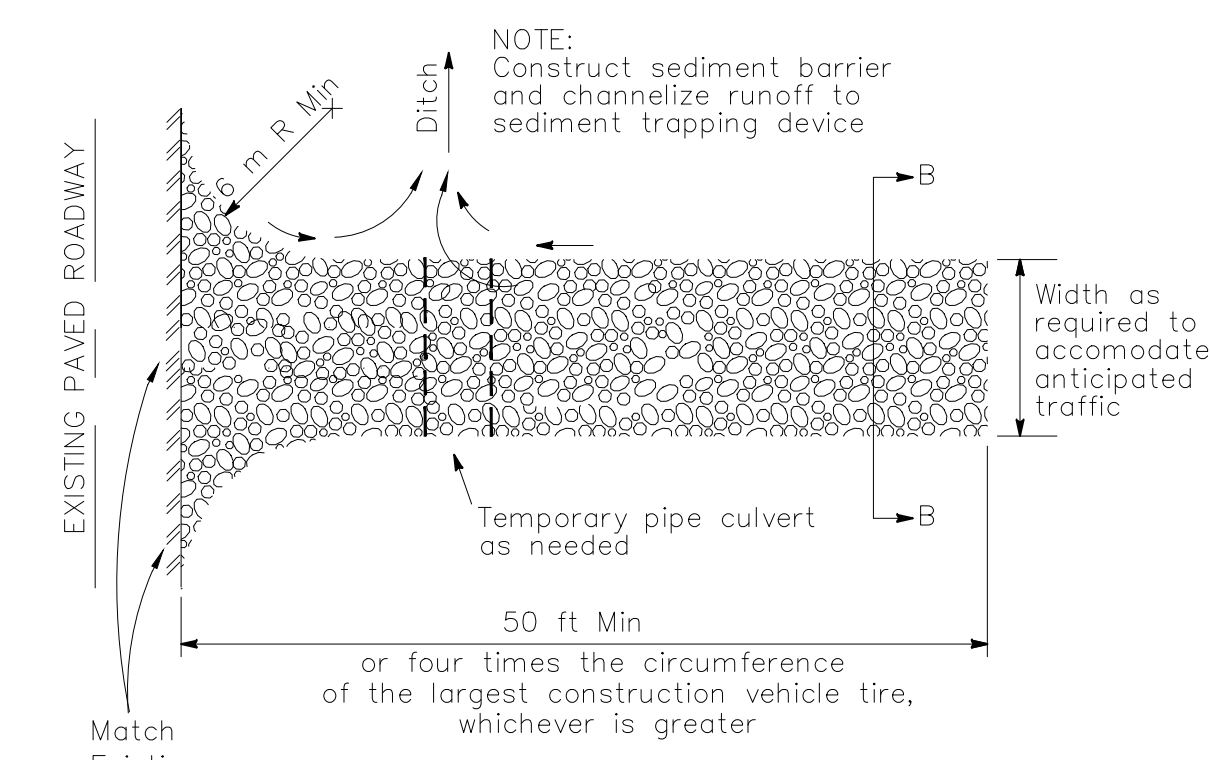


PLAN

SE-4 CHECK DAM SCALE: NTS

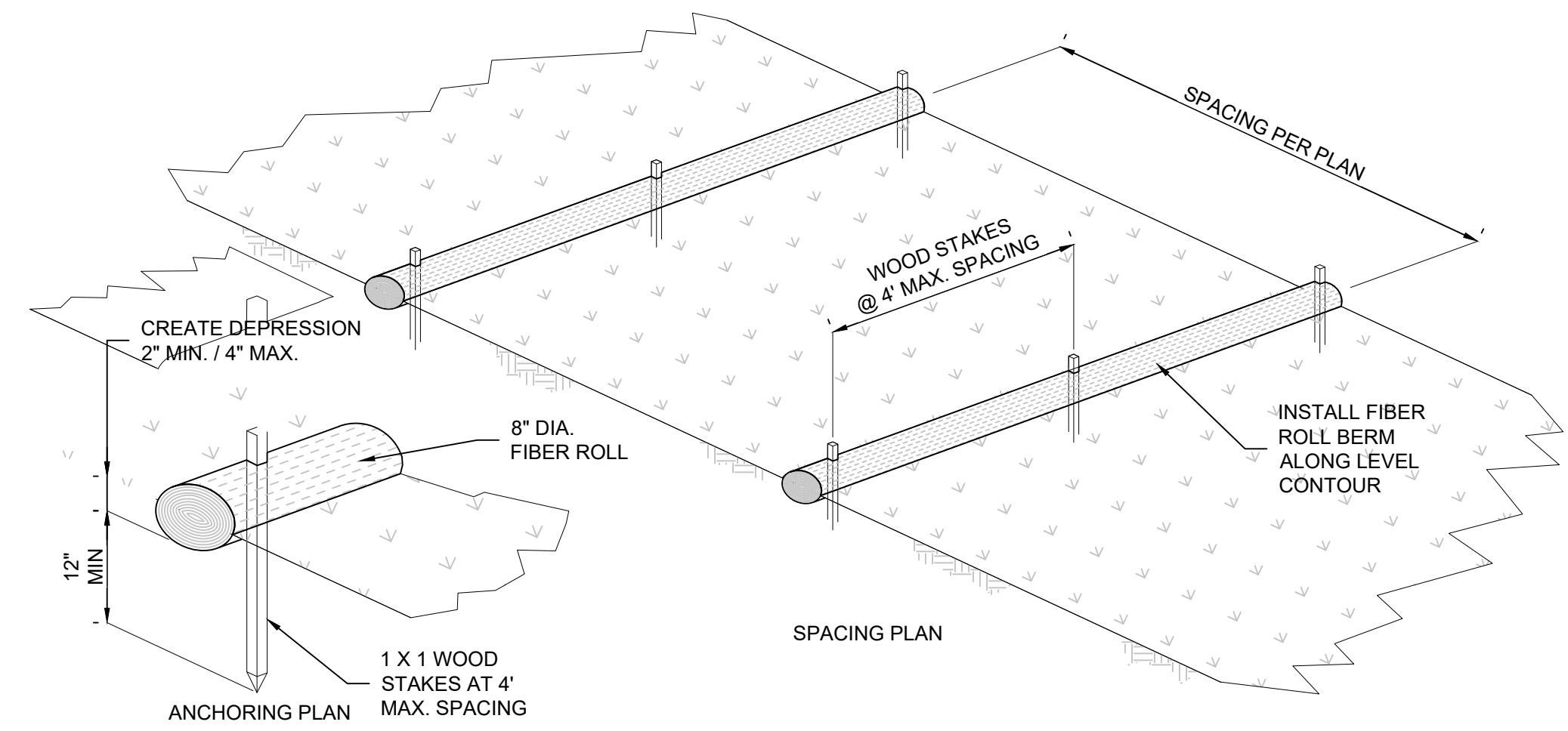


SECTION B-B



PLAN

TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT NOT TO SCALE



SPACING PLAN

SE-5 FIBER ROLL BERM NOT TO SCALE

Ashley & Vance
ENGINEERING, INC.

113 W. Chestnut Street
Bellingham, WA 98225

www.ashleyvance.com (360) 746-8020 • (805) 545-0010
CIVIL • STRUCTURAL

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

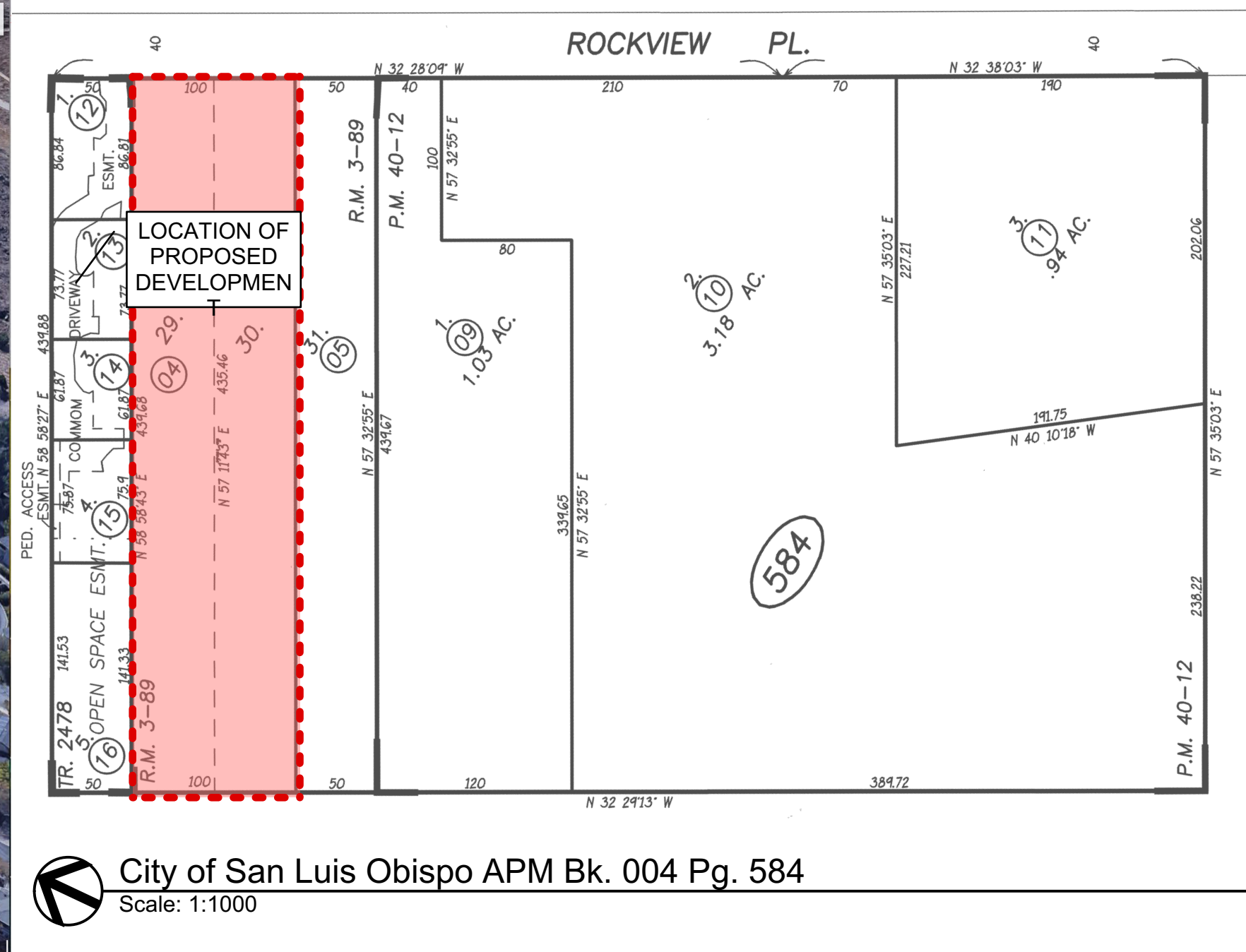
THE ROCKVIEW MODERNS
3063 ROCKVIEW PLACE
SAN LUIS OBISPO, CA 93401

Project:

Revisions:		
1		
2		
3		
4		
5		

Proj. Engr.: ZRB Phone Ext.: 226
Proj. Mngr.: KBB Phone Ext.: 119
Date: 05.03.2018 Scale: PER PLAN
A&V Job No.: 17110

EROSION CONTROL
DETAILS
C-5.2



City of San Luis Obispo APM Bk. 004 Pg. 584
Scale: 1:1000



Dark color indicates unbuildable area of hillside that is greater than 30% slope per SLOMC.

Approximate location of Open Space Easement requested by the City of San Luis Obispo.

20'-0" Site Frontage Setback per SLOMC

2'-0" Dedication Easement to align with 6'-0" sidewalk per City SLO Standard.

Hillside Slope Legend

0-15% Slope:	16-20% Slope:	21-25% Slope:	+26% Slope:
--------------	---------------	---------------	-------------

Existing Site Constraints
Scale: 1/16" = 1'-0"

studio
2G
Architects, LLP
gibson • gough

1540 Marsh Street, Suite 230
San Luis Obispo, CA 93401
www.studio-2g.com
P 805.594.0771
F 805.594.9137

These drawings are instruments of service and are the property of Studio 2G Architects, LLP. All designs, details, and other information on these drawings are for use on the specified project and shall not be used otherwise without the expressed and written permission of Studio 2G Architects, LLP.



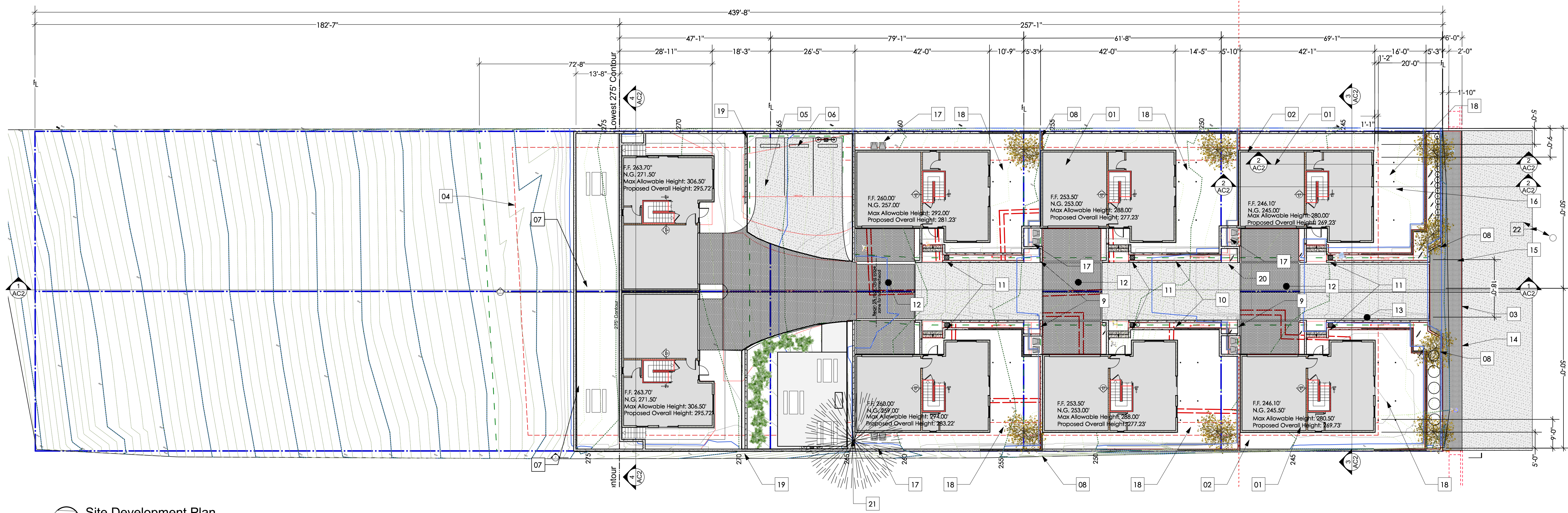
ROCKVIEW MODERNS
3063 Rockview Place
San Luis Obispo, California 93401
APN# 004-584-004

DATE	ISSUE
17OCT24	COMBINED ARC & PC SUBMITTAL
18JAN24	ITM Final

JOB NUMBER
1718

Site Constraints

SHEET NUMBER
AC0.0
EXISTING SITE CONSTRAINTS
22x34 sheet : 1/2 scale @ 11x17
© 2017 studio2g Architects, LLP



Site Development Plan
Scale: 1/16" = 1'-0"

UTILITY NOTES

1. Verify locations of all utilities at street with Civil Utility Plan. Architectural Site Plan is schematic and indicates intent only. All utilities shall be field verified.
2. Coordinate site utility work with all local governing agencies and local utility companies.
3. Any new wire services shall be placed underground in accordance with the building codes as amended locally. Any exceptions to undergrounding of utilities shall be approved by the building official.
4. A sewer backwater valve is required. Provide dual plumbing system so that fixtures not needing backwater protection will by-pass the valve in accordance with the uniform plumbing code and/or building division policies.
5. Slope sewer lateral a minimum of 1/4" per 1'-0" from plumbing fixtures to point of disposal at septic system.
6. Provide an accessible sewer lateral cleanout at the building.
7. Water service piping shall be sized in accordance with the approved fire sprinkler plans.
8. Regulate site water pressure to 80psi max as required.
9. Provide an approved backflow prevention device at all new hose bibs.

EROSION CONTROL NOTES

1. A plan has been developed, and will be implemented, to manage storm water drainage during construction. CGC 4.106.2 & 4.106.3 The site shall be planned and developed to keep surface water away from buildings. Civil Plans indicate how site grading or a drainage system will manage all surface water flows. CGC 4.106.3

SYMBOL LEGEND

INDICATES DIRECTION OF VIEW SECTION CUT REFERENCE SHEET NUMBER

INDICATES DIRECTION OF VIEW INTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER

DOOR ID - REFER TO SHEET A3.0

WINDOW ID - REFER TO SHEET A3.0

ABBREVIATIONS FOR A COMPLETE LIST OF ABBREVIATIONS, REFER TO T1.0

TEMP.	TEMPERED GLAZING REQUIRED
R.O.	ROUGH OPENING
P.W.	PLYWOOD
PLT. HT.	PLATE HEIGHT
F.F.	FINISH FLOOR
HDR.	HEADER

GRADING NOTES

1. Lot grading shall meet the minimum requirements of the latest CBC edition.
2. Grading permit required if volume of earth moved exceeds 200 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Grading Ordinance 202)
3. Compaction report required for fill material 12 inches or more in depth. (CBC 1803.5.8)
4. No grading or drainage improvements which alter existing drainage courses or concentrate drainage to adjacent properties shall be allowed without prior approval from the County Engineer.
5. Drainage shall be carried to the street or other improved drainage device via a non-erosive drainage device.
6. The grade shall fall a minimum of 6 inches within the first 10 feet from the building.
7. Refer to Civil Engineering drawings for site grading, improvements, and erosion control.

SITE PLAN GENERAL NOTES

1. It is the contractor's responsibility to locate all existing utilities whether shown hereon or not and to protect them from damage. The contractor shall bear all expense of repair or replacement in conjunction with the execution of this work.
2. Verify location of residence and all site improvements per plan. Notify the Architect of any discrepancies prior to any construction.
3. The structure is located within 5' of the minimum required setback from the property line. At foundation inspection, provide certification from a licensed land surveyor or civil engineer that the structure meets the setback requirements. Exception for existing legal survey monuments: If a line can be strung between the monuments to clearly show the property line from which to measure the required setback, the certification may be waived. This must be verified with your inspector. Please note that the building inspector may require setback certification on any project regardless of the distance to the allowable setback if the property boundaries are unclear. Revisions required by unforeseen site conditions shall be approved by the architect prior to execution.
4. A separate encroachment permit is required for any work in the public right-of-way, mainline extensions, or work in a public easement. Work requiring an encroachment permit includes, but is not limited to, utility connections to a public main, street paving, or construction staging in the right-of-way. Addresses shall be plainly visible and legible from the street or road fronting the property. Address numbers shall be 4" high, 1/2" min. stroke width and of contrasting color to their background.
5. Paving, masonry and concrete subcontractors are to coordinate with the electrician, drainline subcontractor and irrigation subcontractor for sleeving, piping and/or conduit installation under or through hardscape elements.
6. Minimum concrete compressive strength shall be 2,500psi at 28 days. Unless noted differently in structural plans.
7. During the construction period, the project frontage(s) shall be swept daily and kept free of dirt, dust and debris.
8. Waste materials shall not be washed into the storm drain system. This includes but is not limited to soil, paint, stucco, grout, color coat, concrete dust, saw residues, grindings, oil, etc.

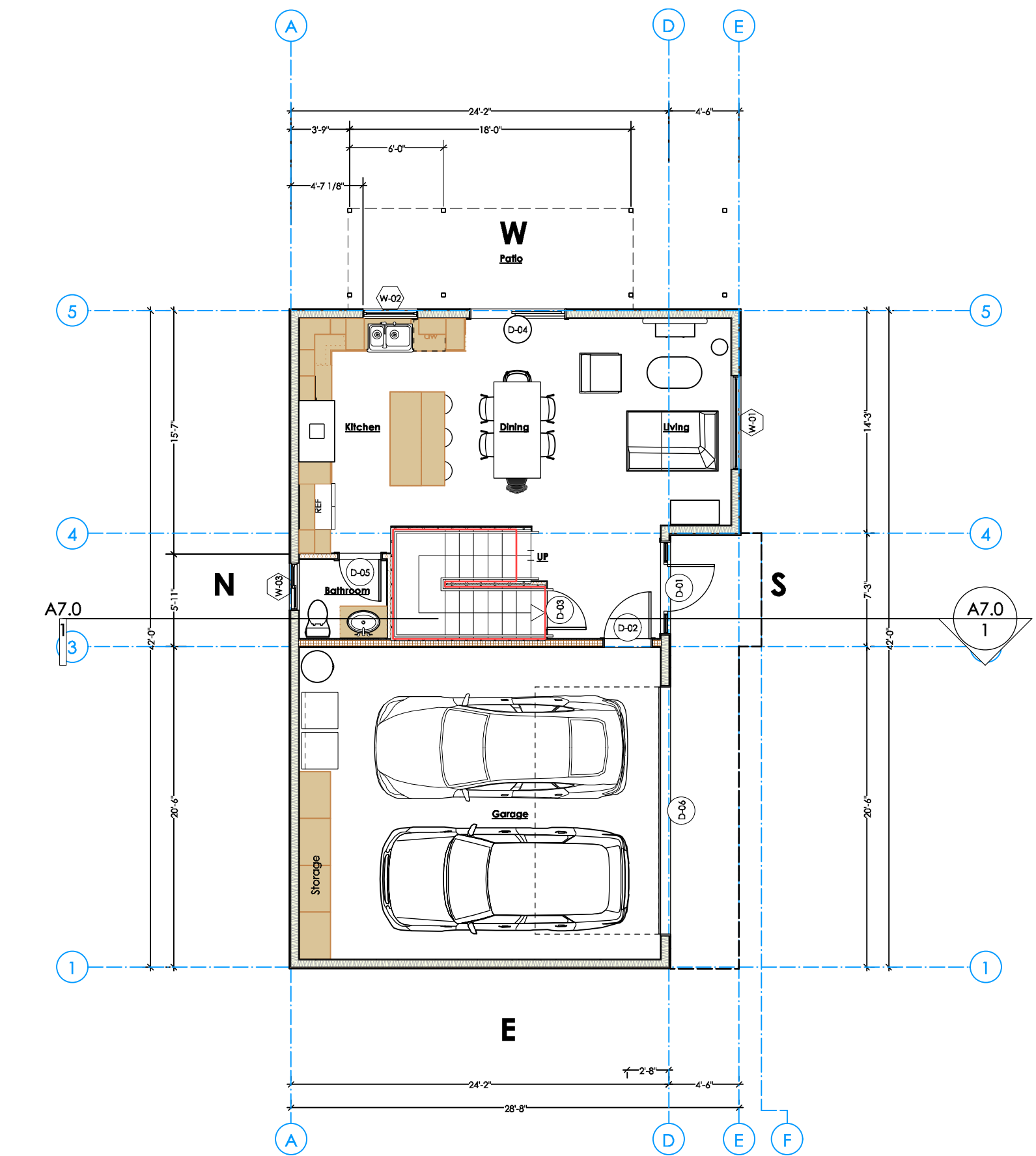
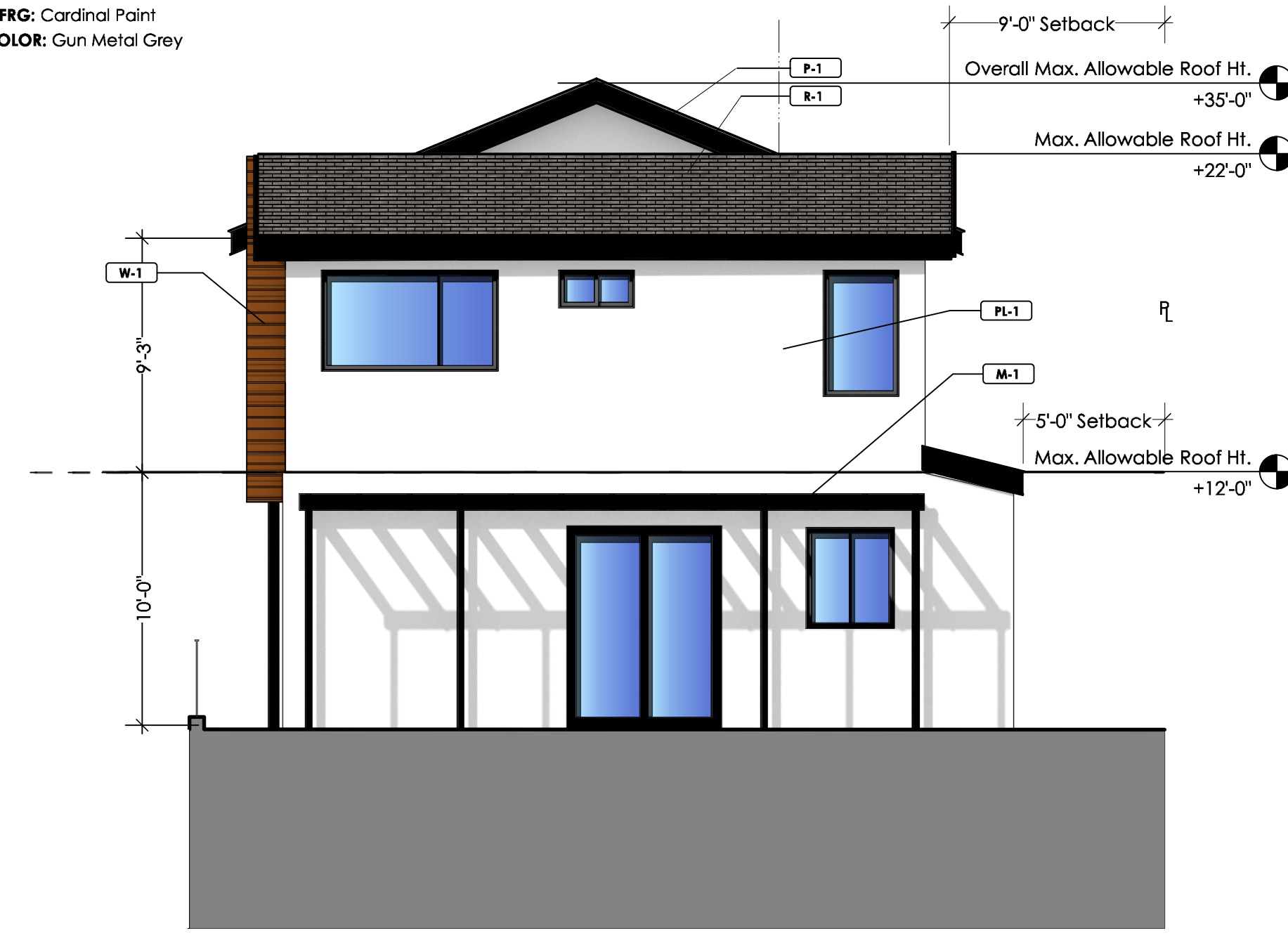
SITE DEVELOPMENT KEYNOTES

1. Dashed line indicates 9'-0" setback for second floor. Refer to site sections for maximum heights.
2. Dashed line indicates 5'-0" setback for first floor. Refer to Site Sections for maximum height.
3. Install new Driveway Ramp per Standard 2110 City of SLO Engineering.
4. Proposed location of Open Space Easement to align with neighboring Parcels.
5. 9'-0"x18'-0" parking stall - typ. of 3
6. Antique light pole per San Luis Obispo lighting Standard this sheet.
7. 1400+sqft of Private Open Space provided (250sqft required) with a minimum dimension in every direction of ten feet. Accessible from second floor.
8. Metal guardrail at site retaining wall.
9. Stepped retaining walls per hillside development requirements. Refer to Site Sections for wall Heights.
10. Landscape area.
11. Metal lamp post per City of San Luis Obispo Night Sky requirements this sheet. Refer to exterior elevations for colors.
12. Permeable pavers at driveway hatch, fire hamerhead and guest parking area. Refer to Civil sheets for LID requirements and Landscape sheets for color, size and installation requirements.
13. Asphalt Driveway 1.6% max slope. Refer to Civil Grading Plans.
14. New 4'0" Sidewalk Curb and Gutter per City of San Luis Obispo Engineering Standards.
15. Proposed 2'-0" dedication to the City for a 6'-0" sidewalk, curb, and gutter.
16. Stand alone trellis. Requesting variance for front setback. Do not structurally attach to dwelling.
17. 5'-0" (200cuft) Weatherproof and lockable storage space for sole use of the unit owner. Opening shall be a minimum of 2'-6"x4'-0" with a minimum height of 4'-0". Provide landscaping to soften and shield from view.
18. 560+sqft of Private Open Space provided (250sqft required) with a minimum dimension in every direction of ten feet.
19. Low fence with metal guardrail with concrete base.
20. Bike racks [typ. of 2] at 4 locations. See spec sheet this page.
21. existing 36' pepper tree to be removed
22. Existing Fire Hydrant

DATE	ISSUE
17OCT24	COMBINED ARC & PC SUBMITTAL
18JAN24	ITM Final
18MAY09	ARC SUBMITTAL #2

MATERIAL AND FINISH LEGEND EXTERIORS

ROOF	PAINT
R-1 MATERIAL: Asphalt Roofing Shingles MFRG: TruDefinition TYPE: Duration Cool COLOR: Mountainside	P-1 MFRG: Sherwin-Williams Paint COLOR: SW 6991 Black Magic
R-2 MATERIAL: PVC Roof MFRG: GAF Color: Grey	MFRG: Sherwin-Williams Paint For Exterior Front Doors:
TRIM / Exterior Siding	P-2 UNIT 1 DOOR COLOR: 6970 Venture Violet
PL-1 MATERIAL: Exterior Plaster MFRG: La Habra COLOR: X-23 Aspen	P-3 UNIT 2 DOOR COLOR: 6759 Cooled Blue
W-1 MATERIAL: T&G Wood Cladding MFRG: Fiberon Wood-Plastic Composite COLOR: Monterey Taupe	P-4 UNIT 3 DOOR COLOR: 6794 Flyway
M-1 MATERIAL: Powder Coated Metal Guardrail and Trellis COLOR: Cardinal Paint COLOR: Gun Metal Grey	P-5 UNIT 4 DOOR COLOR: 6865 Gypsy Red
	P-6 UNIT 5 DOOR COLOR: 6879 Daring
	P-7 UNIT 6 DOOR COLOR: 6663 Saffron Thread
	P-8 UNIT 7 DOOR COLOR: 6904 Gusto Gold
	P-9 UNIT 8 DOOR COLOR: 6704 Hep Green



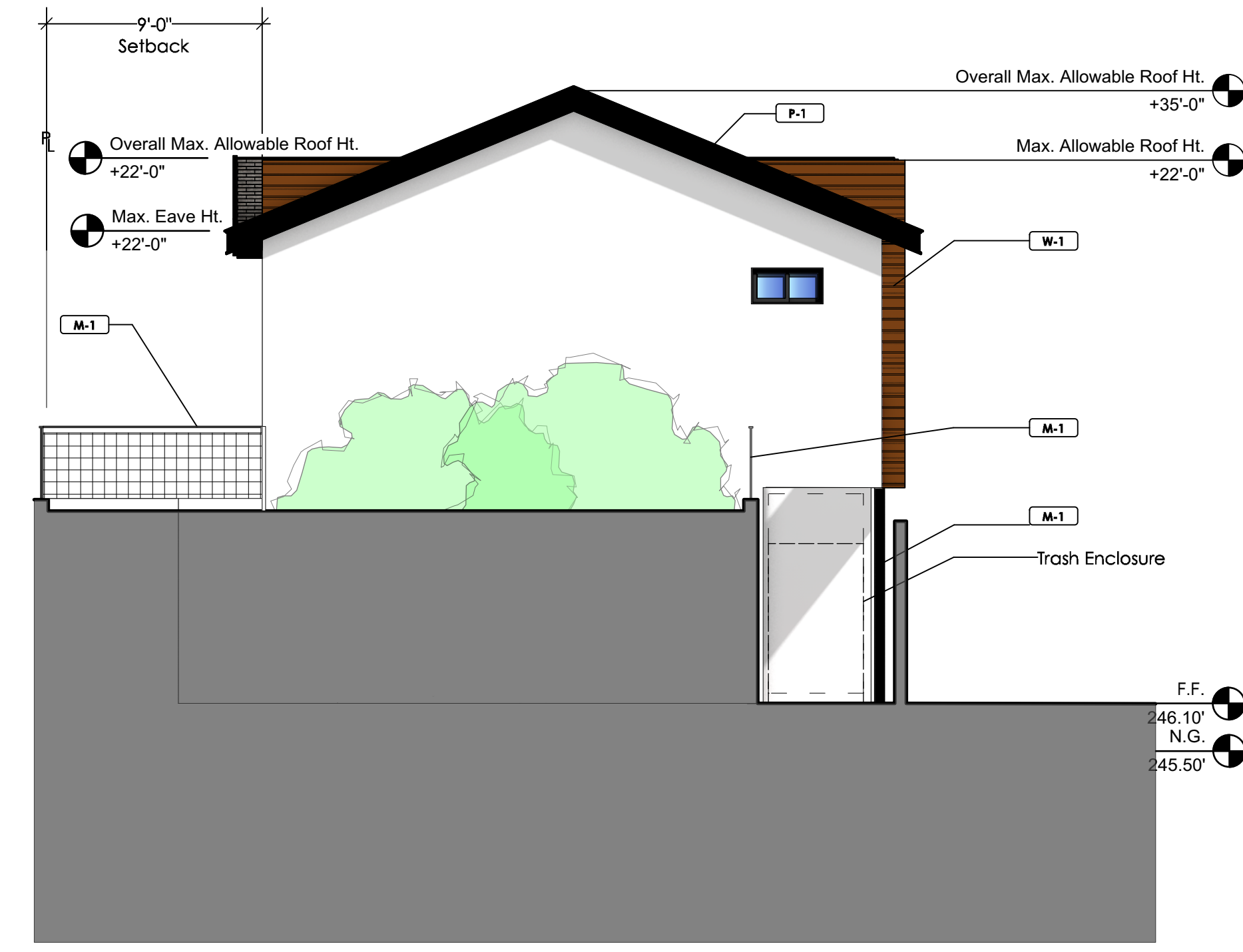
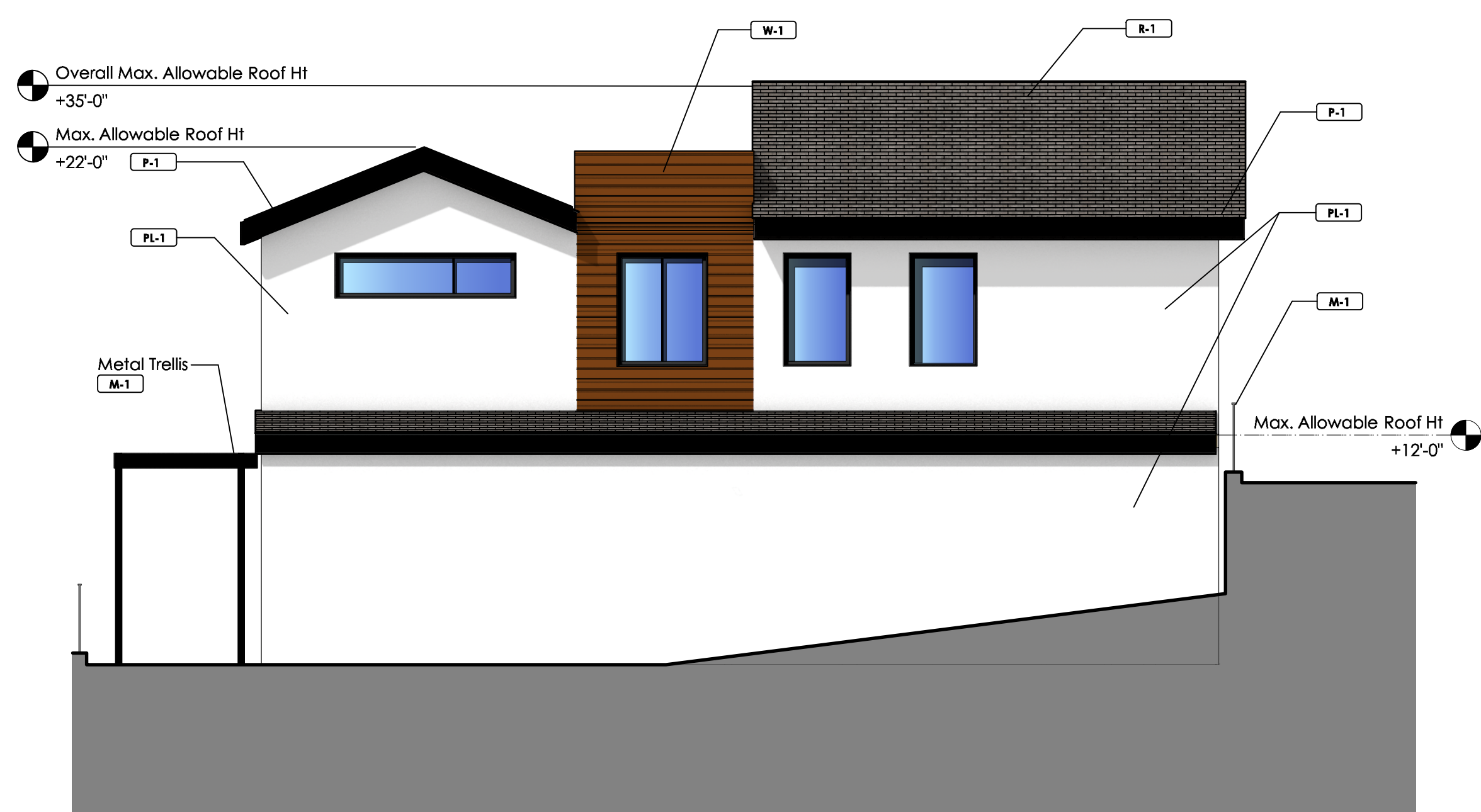
SOUTH EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"

EAST EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"

FIRST FLOOR DIMENSIONAL PLAN
Scale: 1/8" = 1'-0"

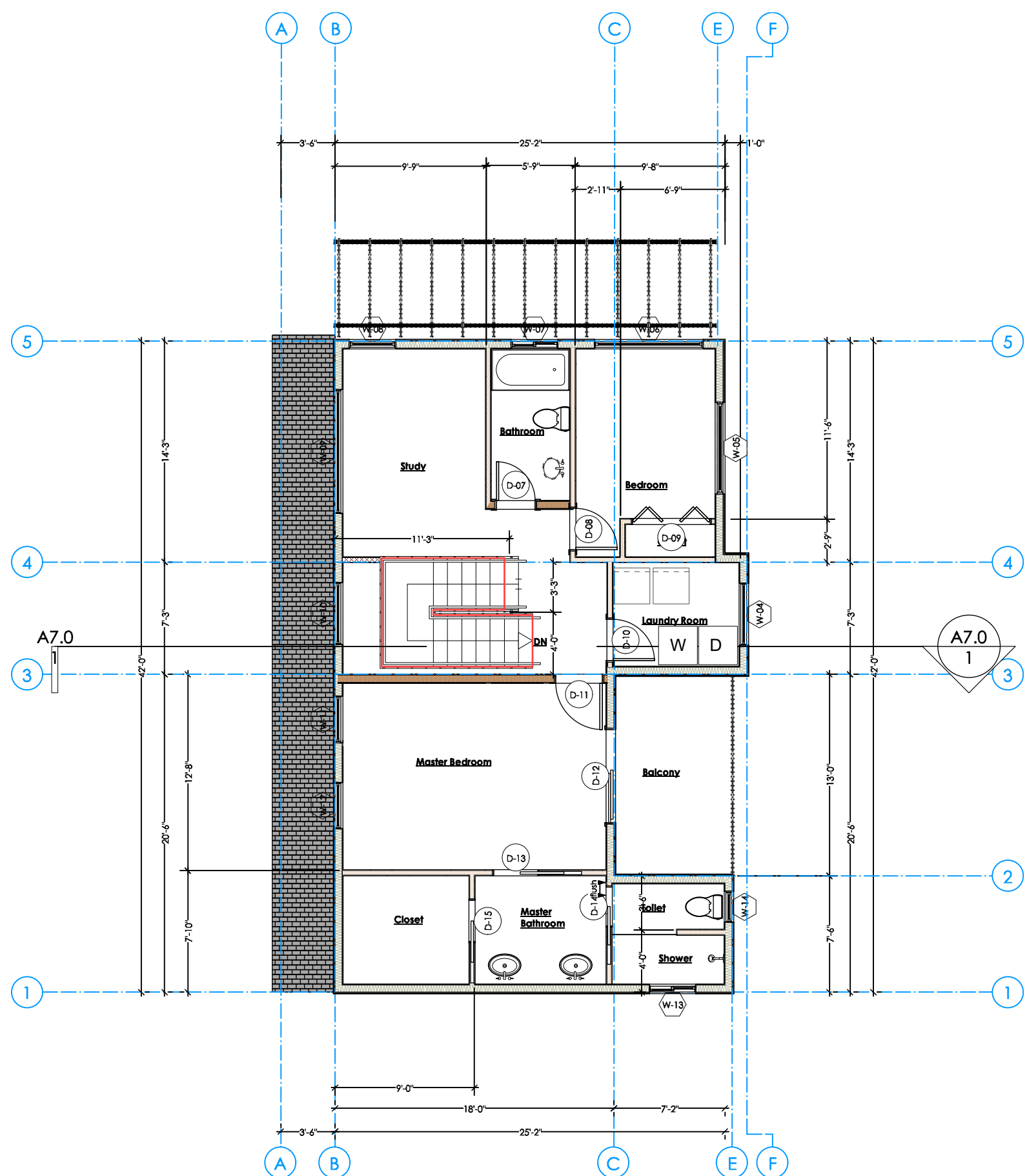
NOTES:
1. For Finish floor Elevations, Average Natural Grade and Max Height for each unit Refer to Site Development Plan.

Overall Max. Building Height
+35'-0" Above Natural Grade



NORTH EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"

WEST EXTERIOR ELEVATIONS
Scale: 3/16" = 1'-0"



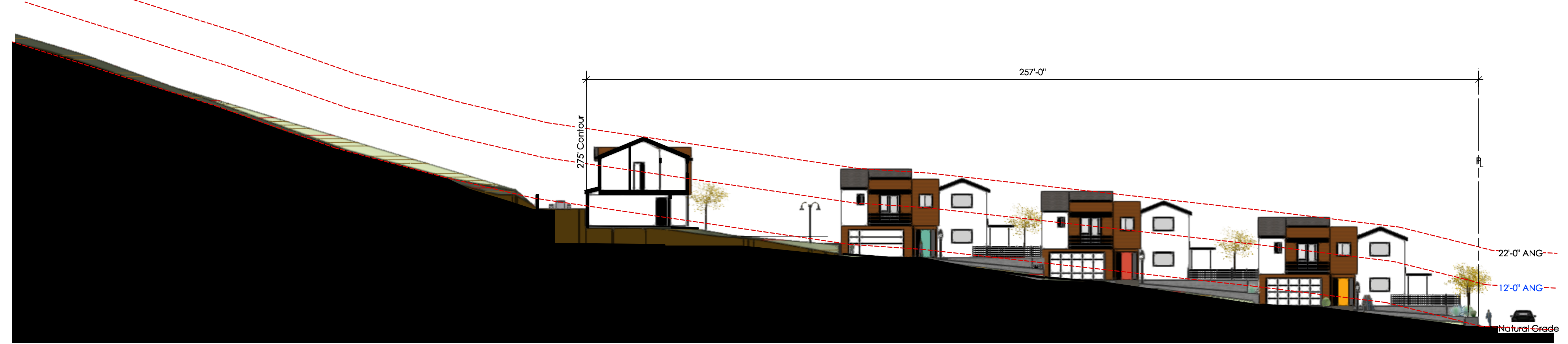
SECOND FLOOR DIMENSIONAL PLAN
Scale: 1/8" = 1'-0"

DATE	ISSUE
17OCT24	COMBINED ARCH & PC SUBMITTAL
18JAN24	ITM FINAL

JOB NUMBER
1718

EXTERIOR ELEVATIONS

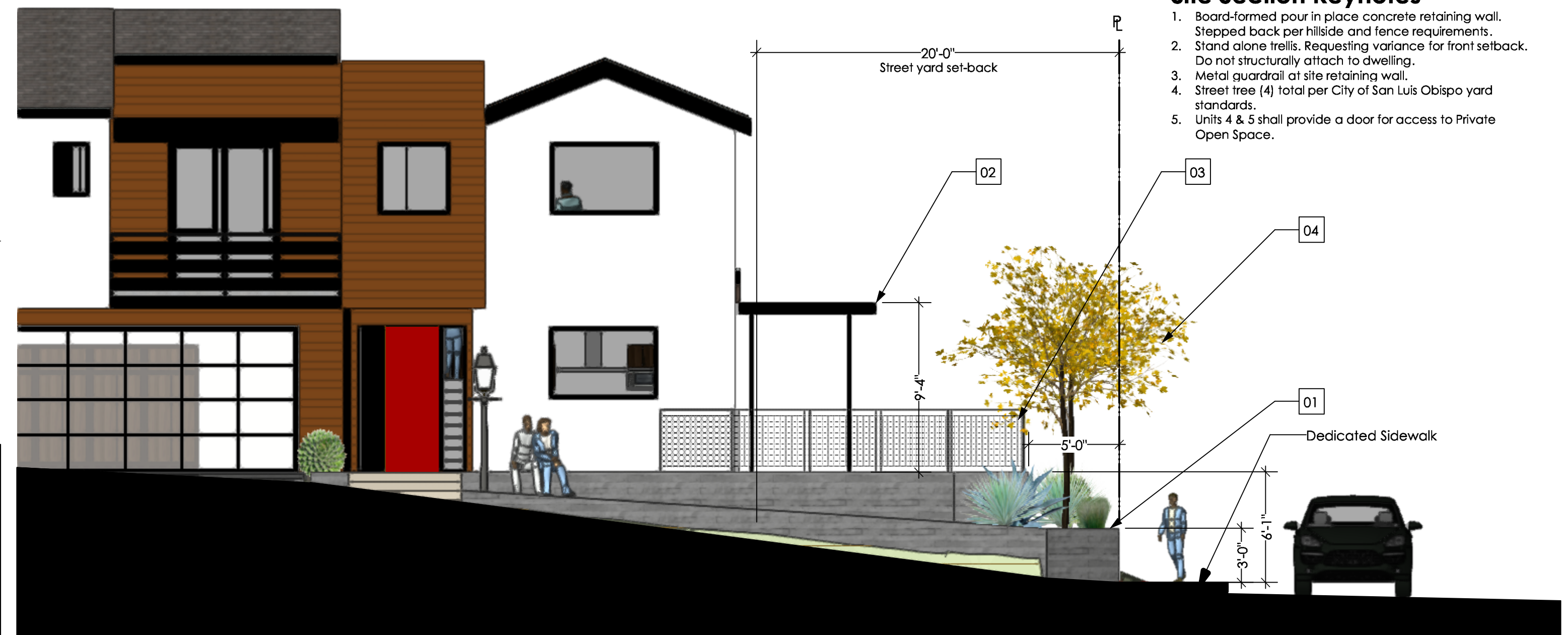
SHEET NUMBER
A1.0
Exterior Elevations
© 2018 studio2G Architects, LLP



1 Longitudinal Site Section
Scale: 1" = 20 ft



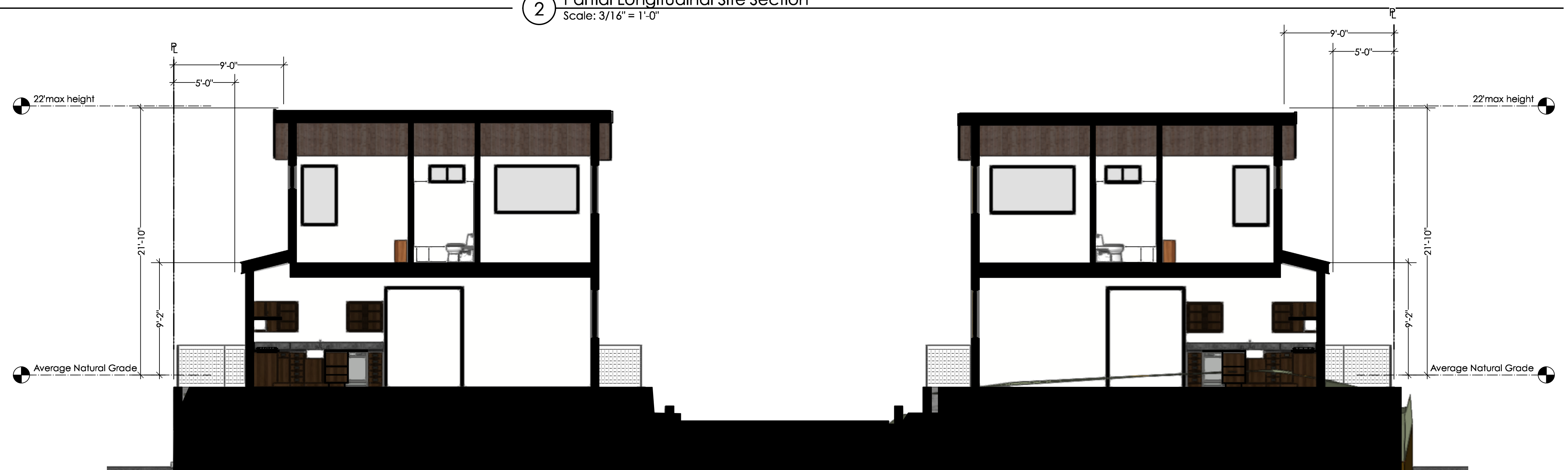
4 Lateral Section Lots 4&5
Scale: 1/8" = 1'-0"



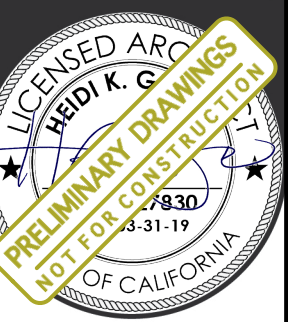
2 Partial Longitudinal Site Section
Scale: 3/16" = 1'-0"

Site Section Keynotes

1. Board-formed pour in place concrete retaining wall. Stepped back per hillside and fence requirements. Do not structurally attach to dwelling.
2. Stand alone trellis. Requesting variance for front setback. Metal guardrail at site retaining wall.
3. Street tree (4) total per City of San Luis Obispo yard standards.
4. Units 4 & 5 shall provide a door for access to Private Open Space.



3 Lateral Site Section
Scale: 3/16" = 1'-0"



DATE	ISSUE
17OCT24	COMBINED ARC & PE SUBMITTAL
18JAN24	ITM Final



A Model Home Front Yard View
Scale: 1/8" = 1'-0"



B Model Home Garage Perspective
Scale: 1/8" = 1'-0"

DATE	ISSUE
17OCT24	COMBINED ARC & PC SUBMITTAL
18JAN24	ITM FINAL

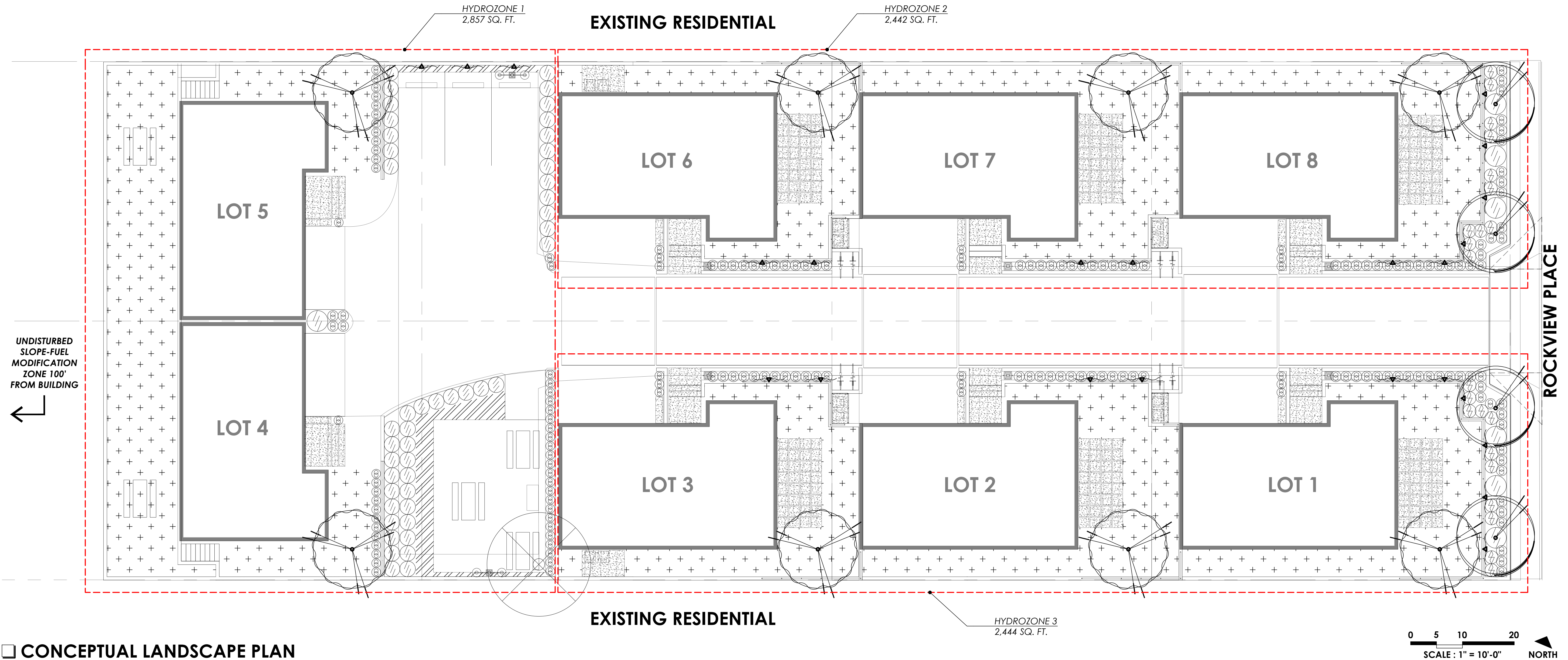
JOB NUMBER
1718

**PERSPECTIVE
ELEVATIONS**

SHEET NUMBER
A9.1

THE ROCKVIEW MODERN

3063 ROCKVIEW PLACE // SAN LUIS OBISPO, CALIFORNIA 93401



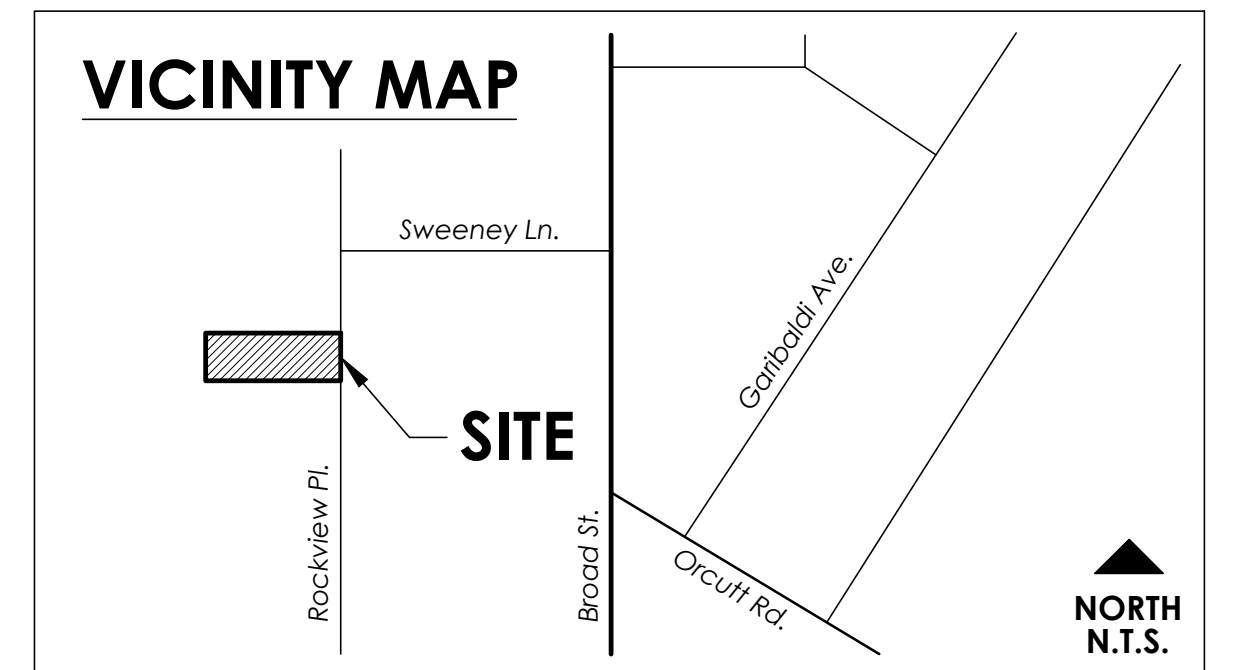
CONCEPTUAL LANDSCAPE PLAN

GENERAL NOTES

1. MINIMUM PLANT SIZES: STREET TREES (24"BOX), SITE TREES (15 GAL.), SHRUBS (1 GAL.), GROUNDCOVER (FLATS)
2. IRRIGATION SYSTEM TO BE INSTALLED AS A PART OF SITE CONSTRUCTION. SYSTEM SHALL BE UNDERGROUND, AUTOMATIC WITH DRIP EMITTERS OR SPRAY HEADS, "SMART" CONTROLLER AND AUTOMATIC RAIN SHUTOFF. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
3. POINT OF CONNECTION FOR WATER SUPPLY, SHALL BE BY A NEW LANDSCAPE SUB METER FROM WELL.
4. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM BARK MULCH AFTER INSTALLATION.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE CITY OF SAN LUIS OBISPO OR STATE OF CALIFORNIA MODEL WATER CONSERVATION ORDINANCE.
6. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF SAN LUIS OBISPO STANDARDS AND CODES.
7. FOR SITE WORK, ARCHITECTURAL, AND GRADING/DRAINAGE INFORMATION SEE PLANS BY OTHERS.
8. ALL AREAS BEYOND THE AREA OF WORK THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITION.
9. DRAWINGS ARE FOR DESIGN AND REVIEW PURPOSES ONLY AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
10. TREES PLANTED IN AN AREA LESS THAN 8' WIDE SHALL BE INSTALLED WITH A ROOT BARRIER TO PROTECT AGAINST HARDSCAPE DAMAGE.
11. STREET TREES ARE TO BE SELECTED FROM THE CITY OF SAN LUIS OBISPO APPROVED TREE LIST.

CONCEPTUAL PLANTING LEGEND

<p> ACCENT TREES</p> <p><i>Natchez Crape Myrtle - Lagerstroemia indica 'Natchez'</i> <i>Shademaster Honey Locust - Gleditsia t. var. inermis 'Shademaster'</i> <i>Coast Live Oak - Quercus agrifolia</i> <i>Chinese Elm - Ulmus Parvifolia</i> <i>Sweetshade - Hymenoporum flavum</i></p> <p> STREET TREES - PER CITY OF SAN LUIS OBISPO</p> <p><i>Chinese Pistache - Pistacia chinensis</i></p> <p> EXISTING TREES TO BE REMOVED</p> <p> MEDIUM FLOWERING SHRUBS</p> <p><i>Dwarf Yedda Hawthorn - Rhaphiolepis umbellata 'Minor'</i> <i>Snow White New Z. Tea Tree - Leptospermum s. 'Snow White'</i> <i>Mound San Bruno Coffeeberry - Rhamnus 'Mound San Bruno'</i> <i>Red Yucca - Hesperaloe parviflora</i> <i>Salvia leucantha 'Santa Barbara' - SB Mexican Bush Sage</i> <i>Golf Ball Kohuhu - Pittosporum tenuifolium 'Golf Ball'</i></p> <p> SMALL FLOWERING & ORNAMENTAL SHRUBS</p> <p><i>Hidcote English Lavender - Lavandula angustifolia 'Hidcote'</i> <i>Stalked Bulbine - Bulbine frutescens</i> <i>Little Rev Flax Lily - Dianella revoluta 'Little Rev'</i> <i>Majestic Lilyturf - Liriope muscari 'Majestic'</i> <i>Melissa Lilac Lavender - Lavandula angustifolia 'Dow4'</i> <i>Autumn Moor Grass - Sesleria Autumnalis</i> <i>Siskiyou Blue Fescue - Festuca 'Siskiyou Blue'</i> <i>Berkeley Sedge - Carex divulsa</i> <i>Small Cape Rush - Chondropetalus tectorum</i> <i>Elk Blue California Gray Rush - Juncus patens 'Blue Elk'</i> <i>Yarrow - Achillea millefolium</i> <i>Blue Note Blue-Eyed Grass - Synsichium angustifolium</i></p>	<p> ORNAMENTAL GRASSES</p> <p><i>Dwarf Mat Rush - Lomandra longifolia 'Breeze'</i> <i>Blonde Ambition Blue Grama - Bouteloa gracilis 'Blonde Ambition'</i> <i>Karl Foerster Reed Grass - Calamagrostis x acutiflora 'Karl Foerster'</i> <i>Pine Muhly - Muhlenbergia dubia</i> <i>Chinese Fountain Grass - Pennisetum Orientale</i></p> <p> MEDIUM SHADE SHRUBS</p> <p><i>Giant Lily Turf - Liriope gigantea</i> <i>Giant Chain Fern - Woodwardia fimbriata</i> <i>David Viburnum - Viburnum davidii</i> <i>Xanadu philodendron - Philodendron xanadu</i></p> <p> FLOWERING VINE</p> <p><i>Lavender Star Flower - Grewia occidentalis</i> <i>Yellow Lady Banks Rose - Rosa bansiae 'Lutea'</i> <i>Star Jasmine - Trachelospermum jasminoides</i></p> <p> FLOWERING GROUNDCOVERS</p> <p><i>Creeping Myoporum - Myoporum parvifolium 'Putah Creek'</i> <i>Bearberry Cotoneaster - Cotoneaster damerii 'Low Fast'</i> <i>Trailing Rosemary - Rosmarinus officinalis 'Prostratus'</i> <i>Anchor Bay Ceanothus - Ceanothus 'Anchor Bay'</i> <i>Pacific Mist Manzanita - Arctostaphylos 'Pacific Mist'</i></p> <p> PRIVATE LANDSCAPE BY FUTURE OWNER</p>
---	--



SHEET TITLE

CONCEPTUAL LANDSCAPE PLAN

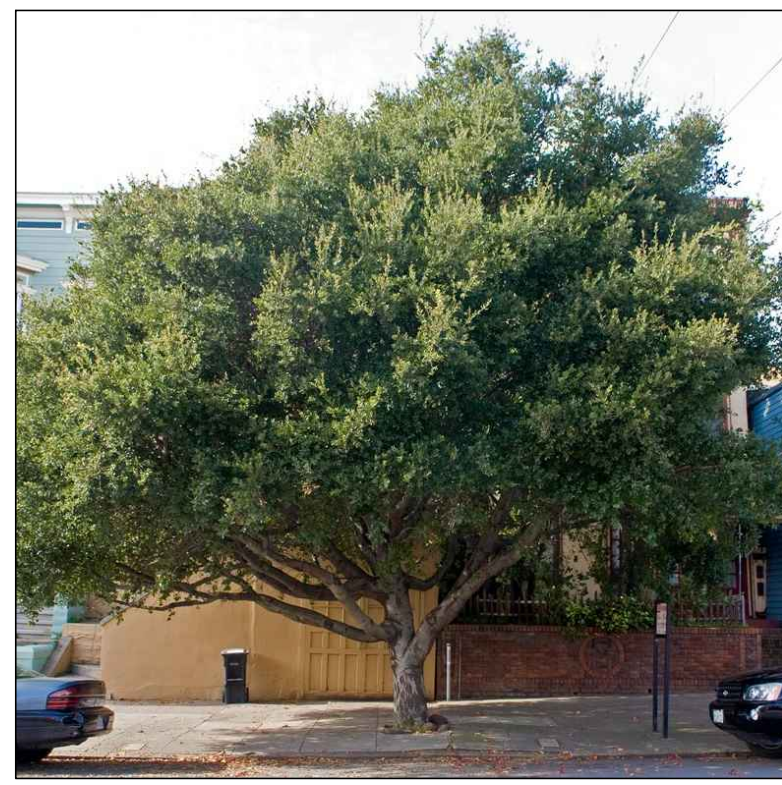
OWNER *Texeira Cap. Partners II, LLC*
195 S. Broadway, Suite 204
Orcutt, California 93455
T: 805.698.3520

DATE 2018.04.30

21748

SHEET NO.

CLP-01



Coast Live Oak



Shademaster Honey Locust



Natchez Crape Myrtle



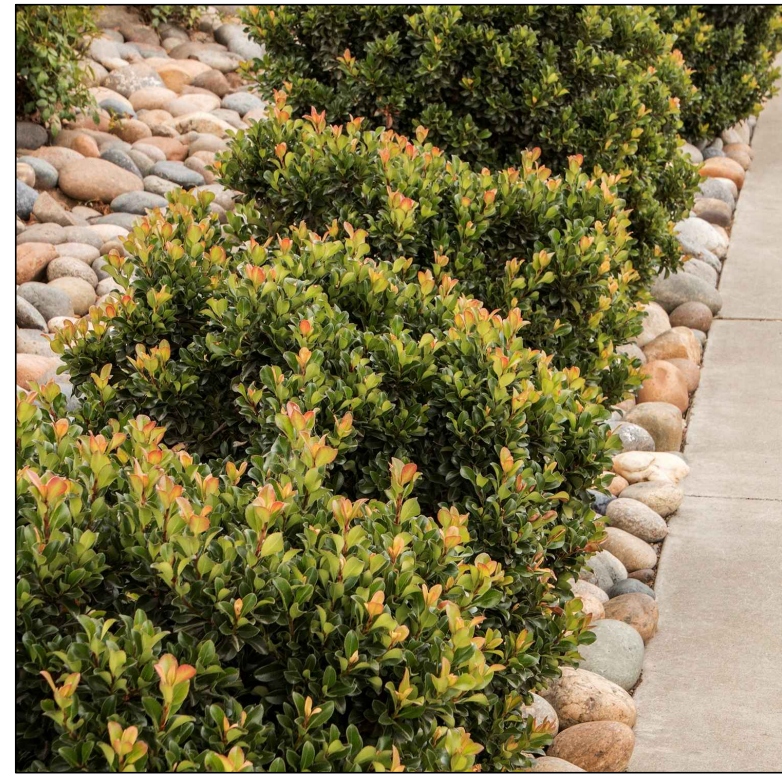
Chinese Evergreen Elm



Sweetshade



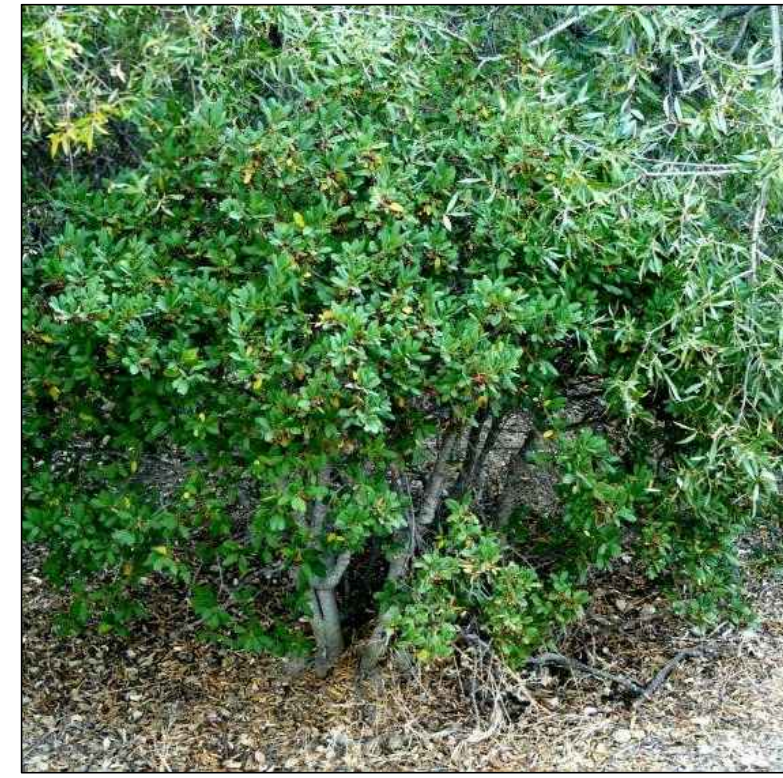
Chinese Pistache



Dwarf Yedda



Snow White NZ Tea Tree



Mound San Bruno Coffeeberry



SB Mexican Bush Sage



Red Yucca



Golf Ball Kohuhu



Hidcote English Lavender



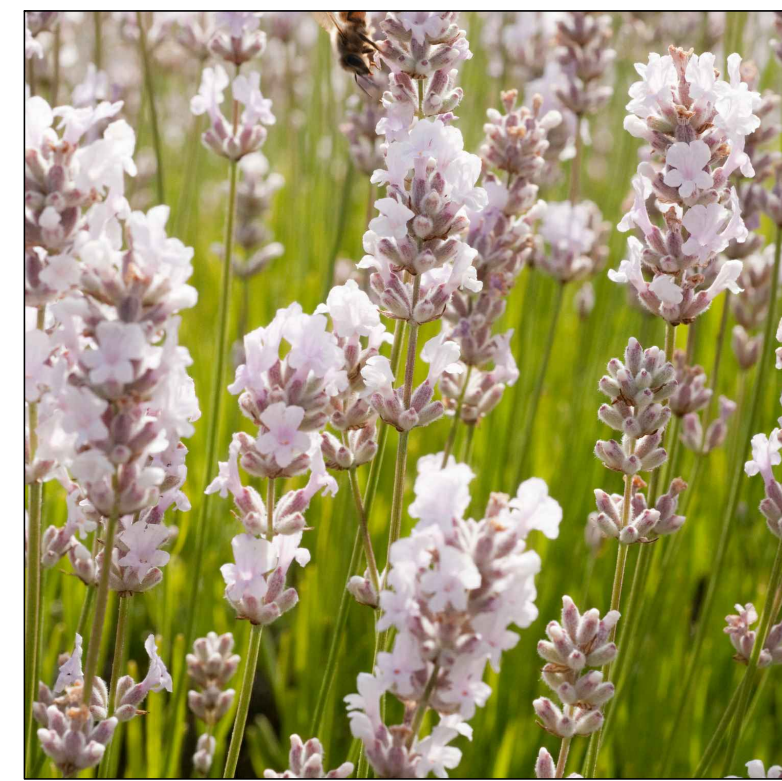
Stalked Bulbine



Little Rev Flax Lily



Majestic Lily Turf



Melissa Lilac Lavender



Dwarf Mat Rush



Blonde Ambition Grama Grass



Karl F. Feather Reed Grass



Pine Muhly



Chinese Fountain Grass



Giant Lily Turf



Giant Chain Fern



David's Viburnum



Xanadu Cut-Leaf Philodendron



Autumn Moor Grass



Siskiyou Blue Fescue

NOTE:
PLANT IMAGERY SHOWN IS REPRESENTATIVE ONLY.
FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL
PLANTING LEGEND FOR MORE INFORMATION.

THE ROCKVIEW MODERN

3063 ROCKVIEW PLACE // SAN LUIS OBISPO, CALIFORNIA 93401

SHEET TITLE

PLANT IMAGERY

OWNER Teixeira Cap. Partners II, LLC
195 S. Broadway, Suite 204
Orcutt, California 93455
T: 805.698.3520

DATE 2018.04.30
21748

SHEET NO.

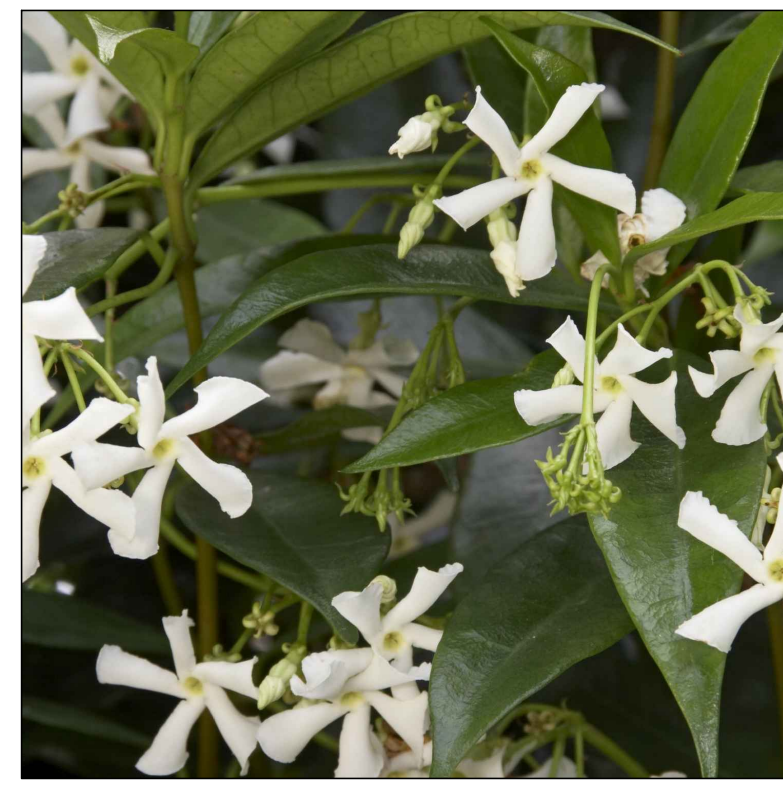
CLP-02



Lavender Star Flower



Banks Rose



Star Jasmine



Berkeley Sedge



Cape Rush



Elk Blue CA. Grey Rush



Moonshine Yarrow



Blue Note Blue-Eyed Grass



Creeping Myoporum



Lowfast Cotoneaster



Prostrate Rosemary



Pacific Mist Manzanita

Maximum Applied Water Allowance Calculations	
Enter Value in Blue Cells	
Tan Cells Show Results	
San Luis Obispo	
<p>Instructions</p> <p>Cells with blue background are for entering data Results show in cells with tan background Errors will show in RED text.</p> <p>1) Select type of project from drop down menu For mixed-use projects please select Non-residential.</p> <p>2) Enter drip irrigated landscape area in square feet</p> <p>3) Enter Special Landscape Area (SLA) in square feet</p> <p>SLA means an area of the landscape dedicated solely to edible plants, areas irrigated with recycled water, water features using recycled water, and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.</p> <p>4) MAWA results appear in the tan cells</p>	<p>Type of Project: Non-residential</p> <p>ET_o of City from MWEL0 data: 43.80 ET_o (inches/year)</p> <p>Overhead Landscape Area (ft²): 0</p> <p>Drip Landscape Area (ft²): 7743</p> <p>SLA (ft²): 0</p> <p>Total Landscape Area: 7,743 ft²</p> <p>Results:</p> <p>(ET_o) x (0.62) x [(ETAF x LA) + (1.0 - ETAF) x SLA]</p> <p>94,621 Gallons per year</p> <p>126 HCF (Hundred Cubic Feet) per year</p> <p>0.29 Acre-feet per year</p>

Estimated Total Water Use					
Enter Values in Blue Cells					
Tan Cells Show Results					
San Luis Obispo					
<p>Instructions</p> <p>Cells with blue background are for entering data Results show in cells with tan background Errors will show in RED text.</p> <p>1) Enter Plant Factor (PF)</p> <p>The plant factor used shall be from WUCOLS or from horticultural researchers with academic institutions or professional associations as approved by the California Department of Water Resources (DWR), (23 CCR § 492.4)</p> <p>2) Enter non-SLA Hydrozone Area (HA) in square feet.</p> <p>3) ETWU results show at the bottom of the page</p> <p>Irrigation Efficiency (IE) Default Value For Drip System (0.81)*</p> <p>Total Landscape Area (LA) must be equal to the LA in the MAWA calculator. ETWU must be equal to or less than MAWA. Mistakes will show in RED.</p>					
	Plant Water Use Type	Plant Factor			
	Very Low	0 - 0.1			
	Low	0.1 - 0.3			
	Medium	0.3 - 0.6			
	High	0.6 - 1.0			
Hydrozone	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Low	0.30	2,857	0.81	1,068
Zone 2	Low	0.30	2,442	0.81	904
Zone 3	Low	0.30	2,444	0.81	905
Zone 4					
Zone 5					
Zone 6					
Zone 7					
Zone 8					
Zone 9					
Zone 10					
Zone 11					
Zone 12					
Zone 13					
Zone 14					
	HA Area		7,743		2,868
	SLA		0		0
	Total LA		7,743		
Results:					
ET _o x 0.62 x [(PF x HA)/IE] + SLA		MAWA=	94,621	Gallons	
		ETWU=	77,877	Gallons	ETWU complies with MAWA
			104	HCF (Hundred Cubic Feet) per year	
			0	Acre-feet per year	

NOTE:
PLANT IMAGERY SHOWN IS REPRESENTATIVE ONLY.
FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL
PLANTING LEGEND FOR MORE INFORMATION.

SHEET TITLE

**PLANT
IMAGERY**

OWNER *Teixeira Cap. Partners II, LLC*
195 S. Broadway, Suite 204
Orcutt, California 93455
T: 805.698.3520

DATE 2018.04.30
21748

SHEET NO.

CLP-03