



RESIDENTIAL TOWNHOMES & MIXED-USE DEVELOPMENT

VICINITY MAP



GENERAL SITE LOCATION



PROJECT DESCRIPTION

THE APPLICANT PLANS TO BUILD NEW RESIDENTIAL HOUSING ON TWO R-3 SITES WITHIN THE ORCUTT AREA SPECIFIC PLAN (OASP). ON THE PRAIT PARCEL, 30 THREE-BEDROOM SINGLE-FAMILY TOWNHOMES ARE PROPOSED, EACH WITH A TWO-CAR GARAGE. ON THE RIGHETTI PARCEL TO THE SOUTH, THERE WILL BE 32 TOWNHOMES AS COMMON INTEREST SUBDIVISIONS. THE OWNERS OF THE NEW HOMES WILL ALSO HAVE TITLE TO THE LAND THAT THEIR HOMES ARE LOCATED ON. THE EASTERN CORNER OF THE PRAIT PROPERTY IS ZONED COMMUNITY COMMERCIAL, CONSISTENT WITH THE OASP. THE SITE WILL BE DEVELOPED WITH A 3,300 SQUARE FOOT COMMERCIAL BUILDING NEAR THE STREET CORNER AND FOUR LIVE-WORK UNITS. TO ASSURE THAT OASP GOALS FOR WALKABILITY AND CONNECTIVITY ARE ACHIEVED, SITE PLANS SHOW ON-SITE WALKWAYS THAT SEPARATE PEDESTRIANS FROM VEHICLES AND CONNECT TO PUBLIC SIDEWALKS ALONG ADJACENT STREETS.

PROJECT DIRECTORY

OWNER: TRAVIS FUENTEZ
AMBIENT COMMUNITIES
979 OSOS STREET, SUITE E
SAN LUIS OBISPO, 93401

ARCHITECT: RRM DESIGN GROUP
3765 S. HIGUERA STREET, SUITE 102
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PROJECT ADDRESS: 3750 BULLOCK LANE (PRAIT PARCEL)

PROJECT STATS (PRAIT PARCEL)

APN NUMBER: 053-061-024
ZONING: CC-SP, R-3-SP
TYPE OF CONSTRUCTION: VB
NET SITE AREA: TOTAL: 4.14 AC
R-3 3.79 AC
CC .35 AC

AVERAGE SITE CROSS SLOPE

PER SLO ZONING 17.16.010 SA.2
±2% AVERAGE CROSS SLOPE

PROPOSED LOT COVERAGE

BUILDING FOOTPRINT 47,202^{sq}
LANDSCAPING 120,216^{sq}
HARD SCAPE/DRIVEWAYS 12,920^{sq}

DENSITY

ALLOWABLE DENSITY PER TABLE 1 OF LAND USE ORDINANCE
ALLOWED DENSITY UNIT: R-3 20/ACRE
CC 36/ACRE
ALLOWED DU PER NET SITE (3.79 AC) X 20/ACRE = 75.88 DU
AREA: PER OASP POLICY 3.1 & WORK SPACE
(.35 AC) X 36/ACRE = 12.60 DU
TOTAL ALLOWABLE DENSITY ON SITE = 88.48 DU

PROPOSED DENSITY PER OASP POLICY 3.1B
PROPOSED UNIT TYPE: TOWN HOMES 30
LIVE/WORK 4

PROPOSED UNIT DENSITY: TOWN HOMES (3 BD) 30 UNITS X 1 DU 30 DU
LIVE/WORK (3 BD) 4 UNITS X 1 DU 4 DU
TOTAL PROPOSED DENSITY 34 DU

TOTAL NUMBER OF NEW UNITS

TOWN HOMES 3 BD 2.5 BA OVER 2-CAR GARAGE 30
LIVE/WORK 3 BD 2 BA OVER 2-CAR GARAGE 4
TOTAL NUMBER OF NEW UNITS 34

TOTAL CONDITIONED AREA

30 TOWN HOMES 1,600^{sq} 48,000^{sq}
4 LIVE/WORK 2,060^{sq} 8,240^{sq}
TOTAL CONDITIONED AREA ±58,240^{sq}

PARKING

REQUIRED PARKING
COMMERCIAL/MIXED USE PER SLO ZONING TABLE 6
PROPOSED COMMERCIAL AREA: 3,500^{sq}
1 SPACE/300^{sq} = 12 SPACES
REQUIRED RESIDENTIAL PARKING: 60%
12 SPACES X 0.4 = 4.8 SPACES
PER OASP PROGRAM 2.2, 7FC
COMMERCIAL REQUIRED 7.2 SPACES

LIVE/WORK PER SLO ZONING TABLE 6
PROPOSED 3BD LIVE/WORK UNITS: 4 UNITS = 8 SPACES
REQUIRED RESIDENTIAL PARKING: 2 SPACES/UNIT = 8 SPACES
LIVE/WORK REQUIRED 8 SPACES
TOTAL COMMERCIAL + LIVE/WORK REQUIRED 15.2 SPACES
TOTAL PARKING PROVIDED 16 SPACES

TOWN HOMES PER SLO ZONING TABLE 6
PROPOSED 3BD UNITS: 30 UNITS = 75 SPACES
REQUIRED RESIDENTIAL PARKING: 2.5 SPACES/UNIT = 75 SPACES
REQUIRED GUEST PARKING: 1 G. SPACE/5 UNITS = 6 SPACES
TOTAL TOWN HOME PARKING REQUIRED 81 SPACES
TOTAL TOWN HOME PARKING PROVIDED 87 SPACES
TOTAL PARKING PROVIDED 97 SPACES

PROVIDED YARD SETBACKS

PER SLO ZONING 17.16.000 SC TABLES 2 & 4

	R-3 REQUIRED	R-3 PROVIDED
STREET - STRUCTURE	15'	15'
STREET - PORCH	15'-7" WITH ARC REVIEW	10' ¹
STREET - PARKING	15'	5' ²
OTHER	6'-6" BASED ON ADJACENT BUILDING HEIGHT OF 19'-4"	7'-11" (NORTH SIDE YARD PRAIT)

1. REQUEST 10' PORCH SETBACKS PER OASP
2. REQUEST 5' SETBACK AS IS ALLOWED IN OTHER CITY ZONES FOR PARKING SPACES

	C-C REQUIRED	C-C PROVIDED
STREET - STRUCTURE	0'	0'-10"
OTHER	0'	10" (NORTH SIDE YARD PRAIT)

OPEN SPACE

TYPE	REQUIREMENT PER UNIT	TOTAL AREA REQUIRED	TOTAL AREA PROPOSED
PRIVATE	100 SF	100 X 30 = 3,000 ^{sq}	7,020 ^{sq}
COMMON	100 SF	100 X 30 = 3,000 ^{sq}	13,064 ^{sq}
TOTAL	400 SF	400 X 30 = 12,000 ^{sq}	20,084 ^{sq}

MAX ALLOWABLE HEIGHT

MAXIMUM ALLOWABLE HEIGHT 35'
PER SLO ZONING 17.16.040
PROPOSED HEIGHT: ±34'-6"

PROJECT STATS (RIGHETTI PARCEL)

APN NUMBER: 004-706-008
ZONING: R-3-SP
TYPE OF CONSTRUCTION: VB
LOT AREA: TOTAL: 1.95 AC

AVERAGE SITE CROSS SLOPE

PER SLO ZONING 17.16.010 SA.2
2-3% AVERAGE CROSS SLOPE

PROPOSED LOT COVERAGE

BUILDING FOOTPRINT 41,794^{sq}
LANDSCAPING 17,617^{sq}
HARD SCAPE/DRIVEWAYS 25,320^{sq}

DENSITY

ALLOWABLE DENSITY PER TABLE 1 OF LAND USE ORDINANCE
ALLOWED DENSITY UNIT: R-3 20/ACRE
ALLOWED DU PER NET SITE (1.95 AC) X 20/ACRE = 39 DU
AREA: PER OASP POLICY 3.1
TOTAL ALLOWABLE DENSITY ON SITE = 39 DU

PROPOSED DENSITY PER OASP POLICY 3.1B
PROPOSED UNIT TYPE: TOWN HOMES 32
PROPOSED UNIT DENSITY: TOWN HOMES (3 BD) 27 UNITS X 1 DU 27 DU
TOTAL PROPOSED DENSITY 32 DU

TOTAL NUMBER OF NEW UNITS

TOWN HOMES 3 BD 2.5 BA OVER 2-CAR GARAGE 32
TOTAL NUMBER OF NEW UNITS 32

TOTAL CONDITIONED AREA

32 TOWN HOMES 1,600^{sq} 51,200^{sq}
TOTAL CONDITIONED AREA ±51,200^{sq}

BIKE PARKING

LAND USE	SHORT TERM REQUIRED	SHORT TERM PROVIDED	LONG TERM REQUIRED	LONG TERM PROVIDED
TOWNHOMES - RIGHETTI	87 X .05 = 4.35 OR 5	21 SPACES IN 5 RACKS	2/UNIT	2/UNIT - 174 TOTAL
TOWNHOMES - PRAIT	81 X .05 = 4	14 SPACES IN 5 RACKS	2/UNIT	2/UNIT - 162 TOTAL
COMMERCIAL MU	16 X .15 = 2.4 OR 3	11 SPACES IN 3 RACKS	3 X .40 = 1	1 LOCKER OR SPACE WITHIN BUILDING

SHEET INDEX

GENERAL	TITLE SHEET	T1
LANDSCAPE	ILLUSTRATIVE LANDSCAPE PLAN	L2
	ILLUSTRATIVE LANDSCAPE PLAN (PRAIT PARCEL)	L3
	ILLUSTRATIVE LANDSCAPE PLAN (RIGHETTI PARCEL)	L4
	MAILBOX, LIGHTING, AND TRASH ENCLOSURE DETAILS	L5
CIVIL	OVERALL SITE GRADING/UTILITY/STORMWATER PLAN	C6
ARCH	ENLARGED SITE PLAN (PRAIT PARCEL)	A7
	ENLARGED SITE PLAN (RIGHETTI PARCEL)	A8
	PRAIT BICYCLE PARKING EXHIBIT	A9
	SITE SECTIONS	A10
CHARACTER	CONTEXT & INSPIRATION	A11
	RESIDENTIAL CHARACTER ILLUSTRATION	A12
	RETAIL & LIVE-WORK CHARACTER ILLUSTRATION	A13
COMMERCIAL	RETAIL FLOOR & ROOF PLAN	A14
	RETAIL BUILDING ELEVATIONS	A15
	LIVE-WORK UNIT FLOOR PLANS	A16
LIVE-WORK	LIVE-WORK BUILDING PLANS	A17
	LIVE-WORK BUILDING ELEVATIONS	A18
	RETAIL & LIVE-WORK DETAIL VIGNETTES	A19
	RETAIL & LIVE-WORK COLOR & MATERIALS	A20
TOWN HOUSE	TOWN-HOUSE UNIT FLOOR PLANS	A21
	4-FLEX BUILDING PLAN	A22
	5-FLEX BUILDING FLOOR PLANS	A23
	6-FLEX BUILDING FLOOR PLANS	A24
	4-FLEX BUILDING ELEVATIONS	A25
	5-FLEX BUILDING ELEVATIONS	A26
	6-FLEX BUILDING ELEVATIONS	A27
	RESIDENTIAL DETAIL VIGNETTES	A28
	TOWN HOUSE COLOR & MATERIALS	A29



Residential & Mixed-Use ARC
Orcutt Area Specific Plan, San Luis Obispo, CA

TITLE SHEET

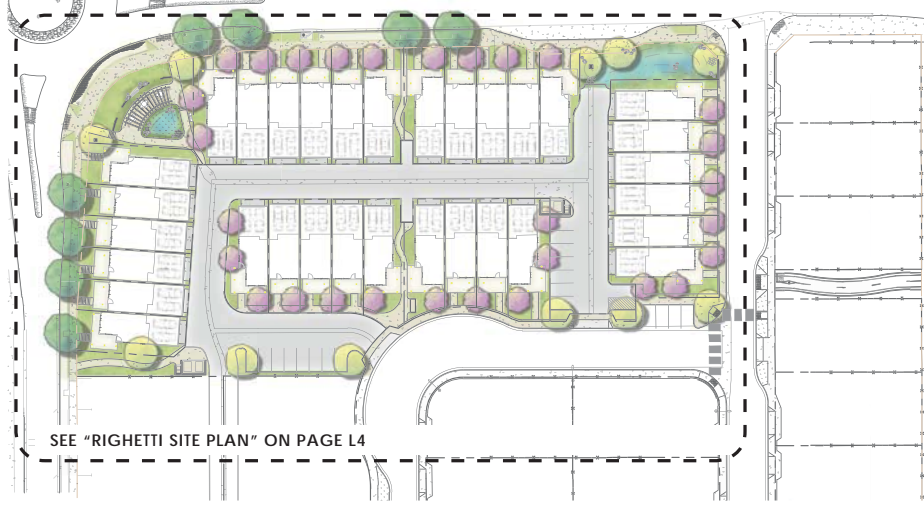
0345-01-RS15 June 18, 2018

T1
GENERAL

¹ DENSITY IN OASP IS CALCULATED PER CITY ZONING REGULATIONS 17.16.010, EXCEPT THAT DWELLINGS THAT ARE 2 OR MORE BEDROOMS ACCOUNT FOR 1.0 DENSITY UNIT.
² REQUEST TO ALLOW 5' SETBACK FOR PARKING ALONG TRUNK ROAD



SEE "PRATT SITE PLAN" ON PAGE L3



SEE "RIGHETTI SITE PLAN" ON PAGE L4

SEE "PRATT COMMERCIAL" ON PAGE A14 & SEE "PRATT LIVE-WORK" ON PAGE A16

METHOD OF IRRIGATION

The irrigation system will utilize the following methods:

- Drip and bubbler irrigation will be used to apply water accurately to the plant root zones at a rate that it can infiltrate to improve irrigation efficiency.
- Low sprinkler heads will be used where needed to apply water uniformly and slowly.
- Over-spray and evaporation will be minimized and matched precipitation rate nozzles will be used within each control valve and circuit.
- A weather based, self-adjusting irrigation control with a rain shut off device will be installed. The irrigation system will be controlled by a time clock with the ability to adjust runtimes by data collected from rain and ET sensors.
- The watering schedule will be based upon plant needs, soil type, slope, and season. Irrigation will be scheduled to avoid watering during rain and freeze events.
- The project will utilize recycled water for landscape irrigation and is not required to restrict its water use under the declared drought emergency.

WATER USE CALCULATIONS

RIGHETTI	PRATT
Total Landscape Area: 17,935 square feet	Total Landscape Area: 18,145 square feet
MAWA Gallons: 267,874	MAWA Gallons: 271,010
EIWU Gallons: 168,806	EIWU Gallons: 159,415

PLANT SCHEDULE

TREES (Righetti Ranch/Tiburon/Ranch House Roads)	COMMON NAME	CONTI	NOTES
	Pistacia chinensis	24" Box	OASP A-D/Res
	Quercus agrifolia	24" Box	OASP Res
	Tristania conferta	24" Box	OASP Res
	Lagerstroemia faurei	24" Box	OASP Res
	Magnolia grandiflora	24" Box	OASP Res
	Cercis occidentalis	24" Box	SLO Master

TREES (Local and Private Streets)	COMMON NAME	CONTI	NOTES
	Arbutus 'Marina'	24" Box	SLO Master
	Tristania conferta	24" Box	OASP Res.
	Jacaranda mimosifolia	24" Box	OASP Res.
	Koeleruteria paniculata	24" Box	OASP Res.
	Cercis occidentalis	24" Box	SLO Master
	Magnolia grandiflora	24" Box	OASP Res.
	Platanus racemosa	24" Box	OASP Res.

SHRUBS / GROUNDCOVER	COMMON NAME	CONTI
	Agave americana	5 GAL
	Agave x 'Blue Flame'	5 GAL
	Anigozanthos flavivius 'Tequila Sunrise'	5 GAL
	Bulbine frutescens 'Hallmark'	1 GAL
	Carex divulsa	1 GAL
	Ceanothus gloriosus 'Anchor Bay'	1 GAL
	Ceanothus gloriosus 'Heart's Desire'	5 GAL
	Chondropetalum tectorum 'El Campo'	5 GAL
	Cistus x purpureus	5 GAL
	Cistus x skanbergii	5 GAL
	Cistus x 'Bennett's White'	5 GAL
	Deschampsia cespitosa	1 GAL
	Diets iridioides 'John's Runner'	1 GAL
	Festuca californica	1 GAL
	Juncus patens 'Elk Blue'	1 GAL
	Lantana camara 'Dwarf Yellow'	1 GAL
	Lantana camara 'Landmark'	1 GAL
	Lomandra longifolia 'Breeze'	1 GAL
	Nepeta x foassenii 'Walkers Low'	1 GAL
	Phormium x 'Black Adder'	5 GAL
	Rhapiolepis indica 'Ballerina'	1 GAL
	Sesleria autumnalis	1 GAL
	Stipa arundinacea	1 GAL
	Teucrium chamaedrys	1 GAL
	Verbena x 'Balendakle' TM	1 GAL



Residential & Mixed-Use ARC
Orcutt Area Specific Plan, San Luis Obispo, CA

ILLUSTRATIVE LANDSCAPE PLAN

SCALE 1" = 40'-0" (SEE EXHIBIT 1)
0' 20' 40' 80' 60'
NORTH

0345-01-RS15 June 18, 2018





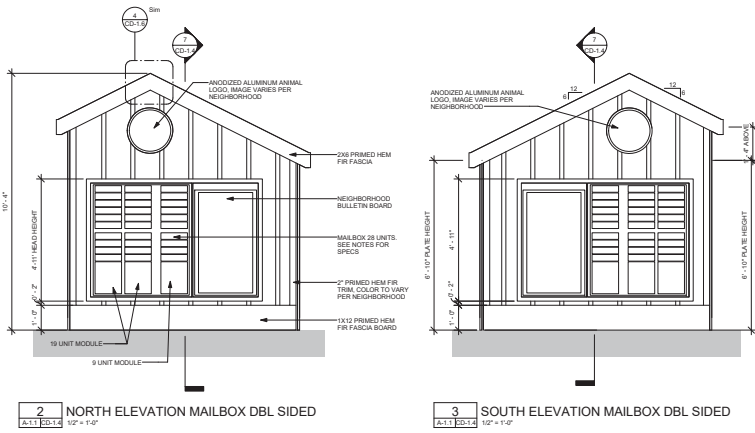
LEGEND AND NOTES

- ① MAILBOXES
- ② BIKE RACKS (SEE A10 FOR TYPE AND LOCATION)
- ③ TRASH ENCLOSURES
- ④ ORNAMENTAL WATER FEATURE
- ⑤ INDOOR / OUTDOOR FIRE PLACE
- ⑥ OUTDOOR DINING
- ⑦ DECORATIVE STAMPED CONCRETE
- PEDESTRIAN LIGHT
- BOLLARD



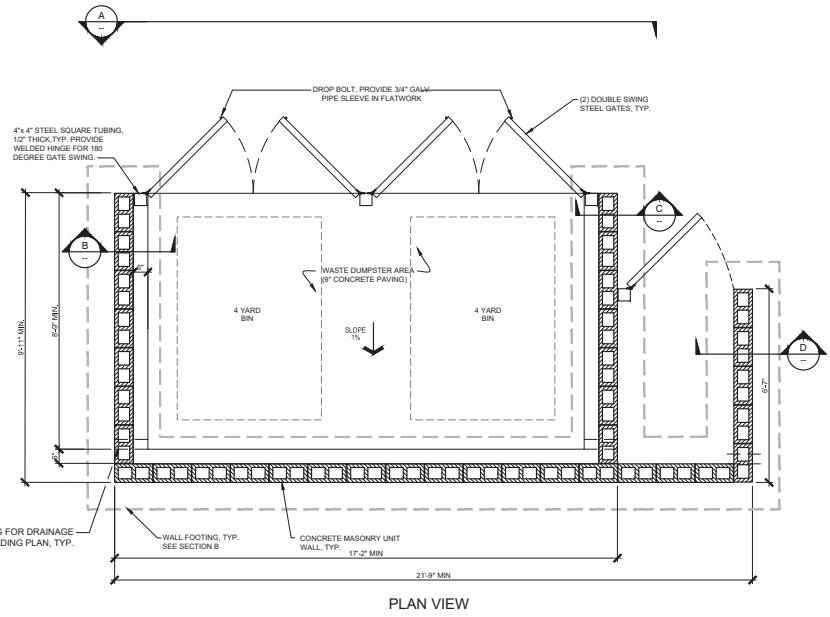
LEGEND AND NOTES

- | | |
|---|----------------------|
| ① ENTRY MONUMENT | ⑤ MAILBOXES |
| ② TRELIS / OUTDOOR BBQ | ⑥ TRASH ENCLOSURES |
| ③ BASIN | ⑦ BASIN |
| ④ BIKE RACKS (SEE A9 AND A10 FOR TYPE AND LOCATION) | ⑧ PEDESTRIAN WALKWAY |
| | ○ BOLLARD |

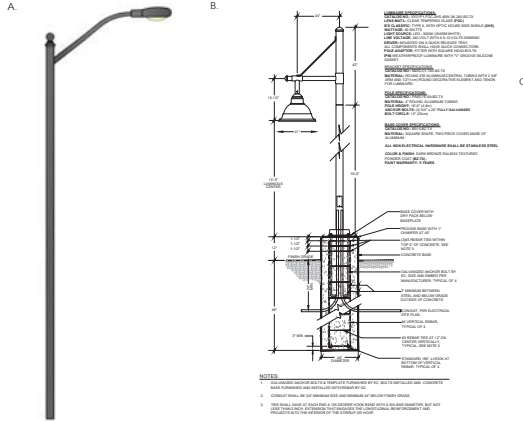


MAILBOX

SCALE: NTS



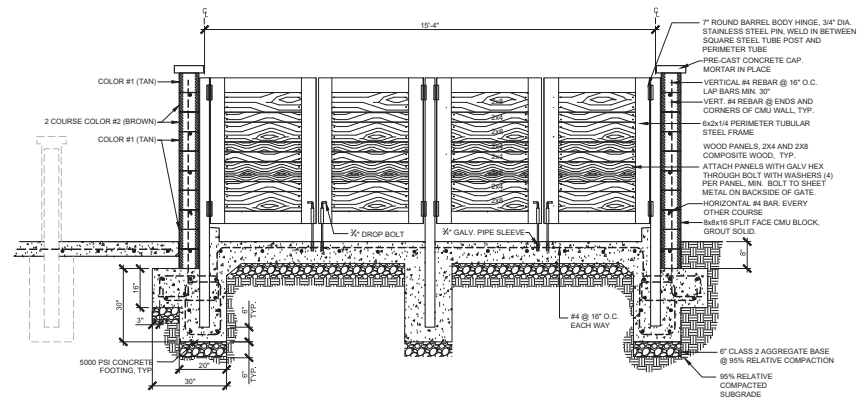
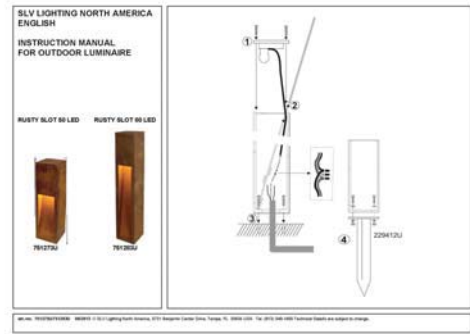
PLAN VIEW



- A. LED 'COBRA HEAD' STREET LIGHT (per city standard)
- B. PEDESTRIAN LIGHT TO MATCH BIKE TRAIL LIGHTS (SEE PLAN L3 AND L4 FOR LOCATIONS)
- C. BOLLARD (SEE PLAN L3 AND L4 FOR LOCATIONS)

SITE LIGHTING

SCALE: NTS



ELEVATION A: FRONT

- Each Trash Enclosure shall contain:**
- (1) 4-Yard Recycling Bin
 - (1) 4-Yard Trash Bin
 - (2) 64 Gallon Organic Waste Wheeler

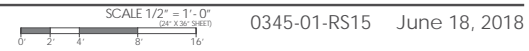
- Notes:**
1. All exposed faces of CMU shall be split faced block, colors Tan and Brown, shown in Elevation A.
 2. All metals shall be painted. Color: brown as approved.
 3. Provide shop drawings for steel trash enclosure gate assembly prior to fabrication.
 4. Submit block color chips for approval prior to construction.

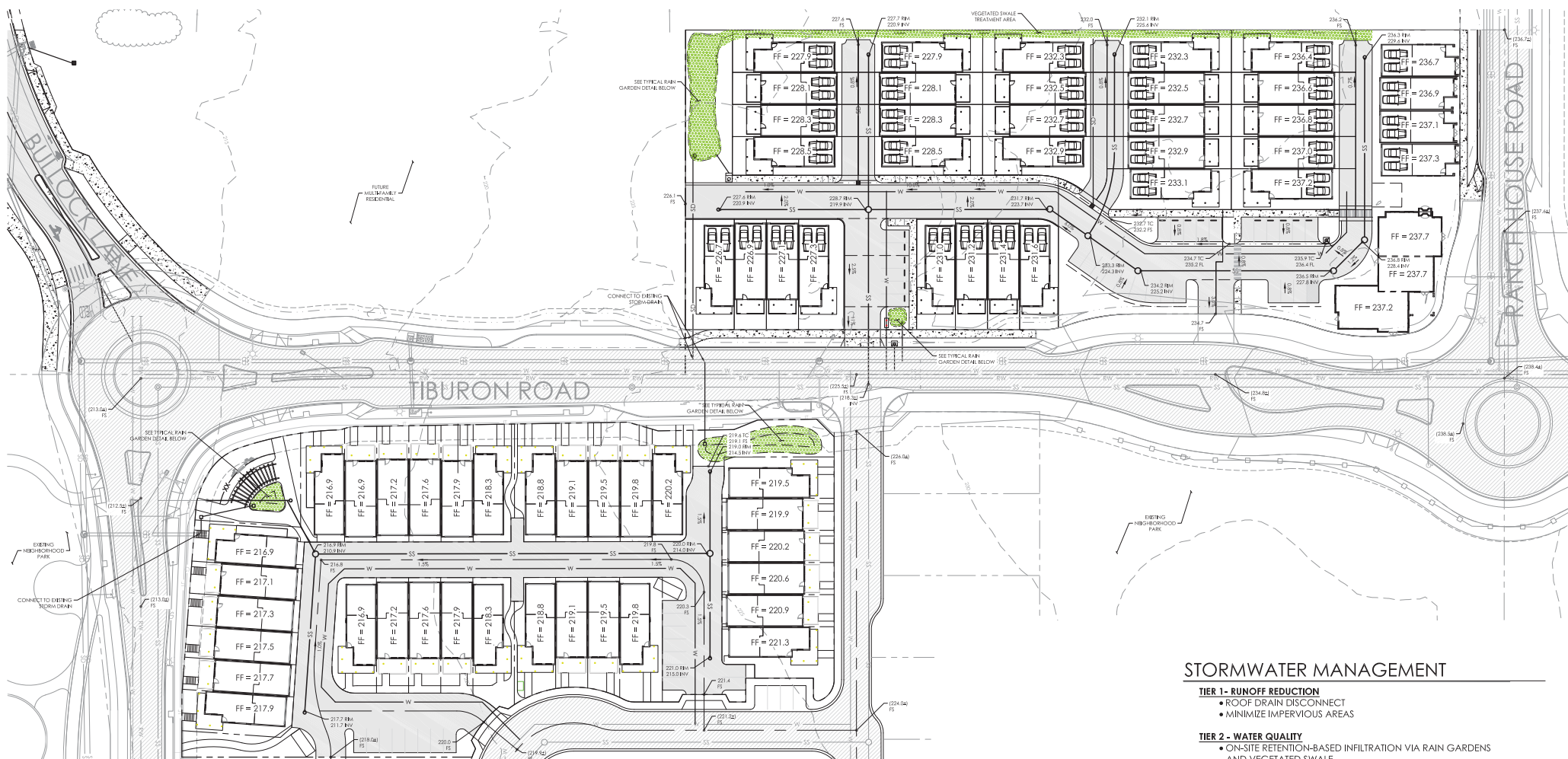
TRASH ENCLOSURE

SCALE: NTS

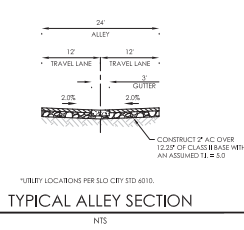
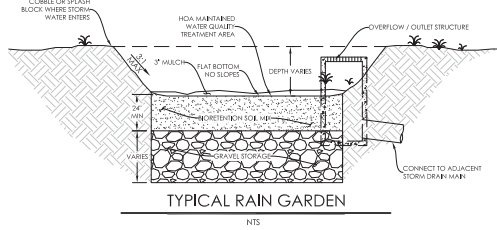


Residential & Mixed-Use ARC MAILBOX, LIGHTING, AND TRASH ENCLOSURE DETAILS
 Orcutt Area Specific Plan, San Luis Obispo, CA





- LEGEND**
- EXISTING AC PAVING
 - PROPOSED AC PAVING
 - WATER QUALITY TREATMENT AREA
 - EXISTING PROPERTY LINE
 - PROPOSED 8" PVC WATER MAIN
 - PROPOSED 8" PVC SEWER MAIN
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING CONTOUR



STORMWATER MANAGEMENT

- TIER 1 - RUNOFF REDUCTION**
 - ROOF DRAIN DISCONNECT
 - MINIMIZE IMPERVIOUS AREAS
- TIER 2 - WATER QUALITY**
 - ON-SITE RETENTION-BASED INFILTRATION VIA RAIN GARDENS AND VEGETATED SWALE
- TIER 3 - RETAIN 95TH PERCENTILE STORM EVENT**
 - WATERSHED MANAGEMENT ZONE 3 - N/A
- TIER 4 - PEAK MANAGEMENT**
 - EXISTING OFFSITE BASINS CONSTRUCTED AS PART OF TRACTS 3063 & 3066 PROVIDE PEAK FLOW MANAGEMENT

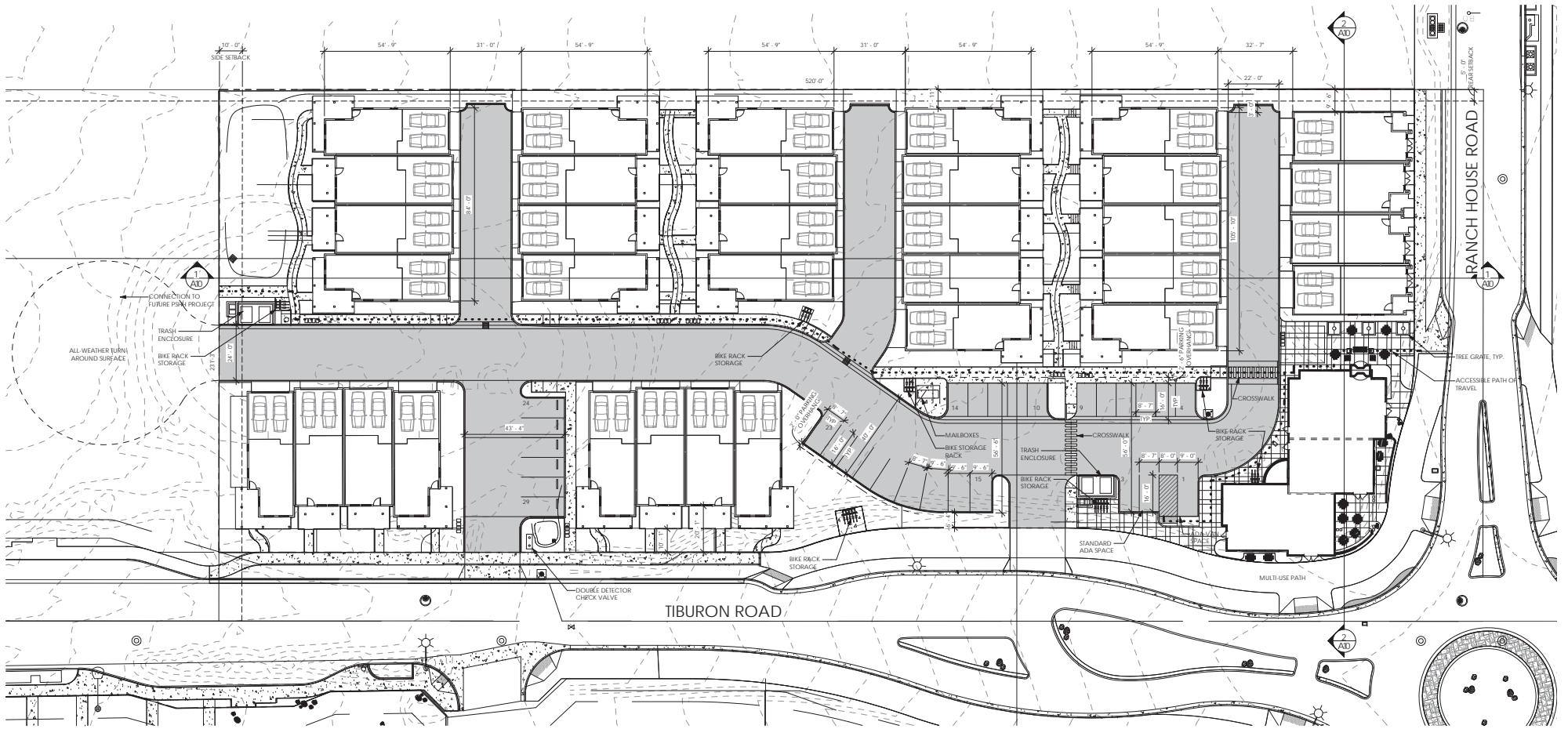


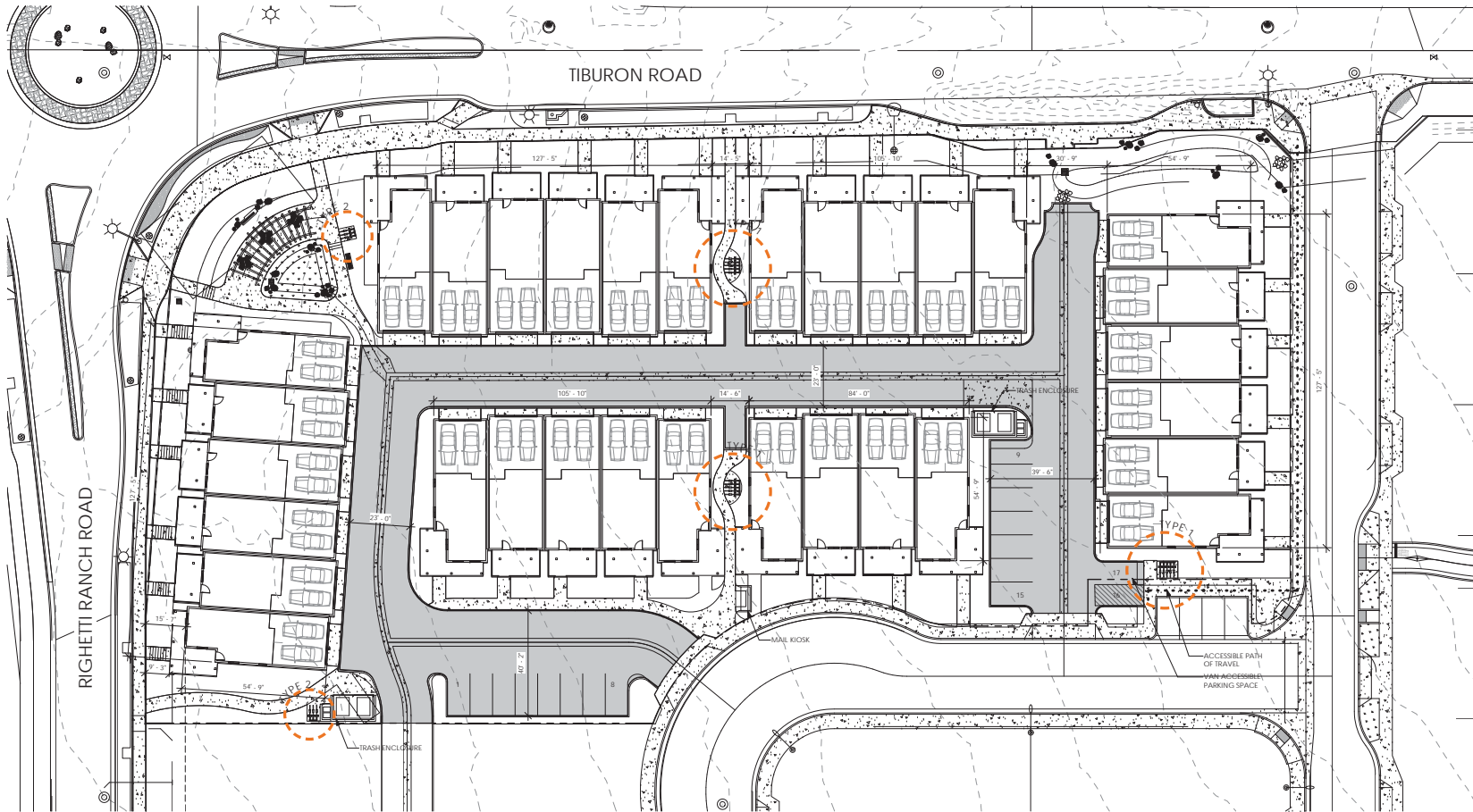
Residential & Mixed-Use ARC
Orcutt Area Specific Plan, San Luis Obispo, CA

OVERALL SITE GRADING/UTILITY/STORMWATER PLAN

NORTH SCALE 1" = 40'-0" (SEE X-REF SHEET) 0345-01-RS15 June 18, 2018







INTERIOR BIKE STORAGE SEE A10 FOR UNIT CONFIGURATION
 2 SPACES PER UNIT 174 TOTAL BIKE SPACES

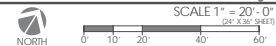
EXTERIOR BIKE STORAGE EXAMPLE SEE A10 FOR STORAGE TYPE

TYPE 1 BIKE RACK	(3) 5-BIKE	15 SPACES
TYPE 2 BIKE RACK	(2) 3-BIKE	6 SPACES
		21 TOTAL BIKE SPACES



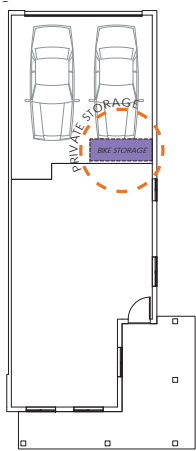
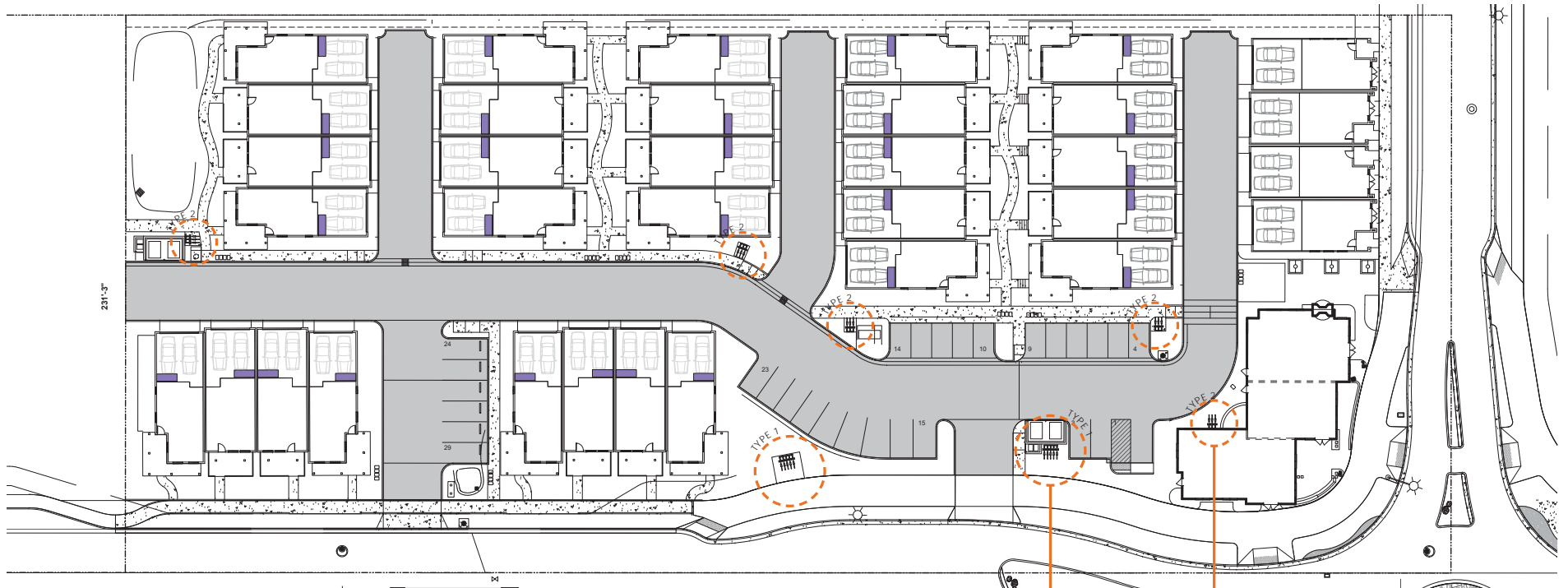
Residential & Mixed-Use ARC
 Orcutt Area Specific Plan, San Luis Obispo, CA

ENLARGED SITE PLAN (RIGHETTI PARCEL)

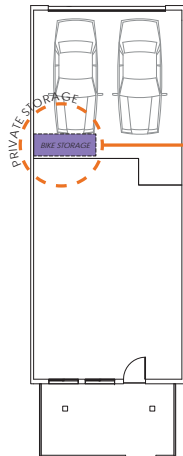


0345-01-RS15 June 18, 2018





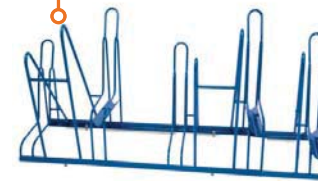
TYP. END UNIT PLAN
GROUND FLOOR PLAN SCALE: 1/4" = 1'-0"



TYP. INTERIOR UNIT PLAN
GROUND FLOOR PLAN SCALE: 1/4" = 1'-0"



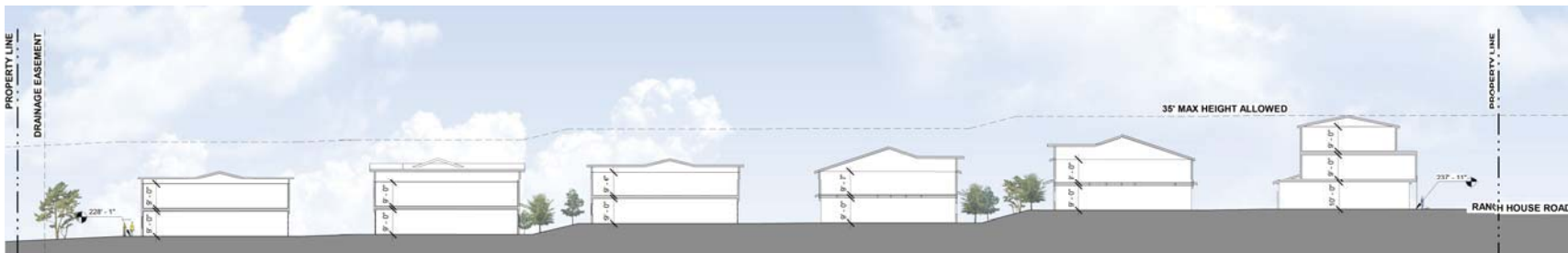
INTERIOR BIKE STORAGE EXAMPLE
2 SPACES PER UNIT
162 TOTAL BIKE SPACES



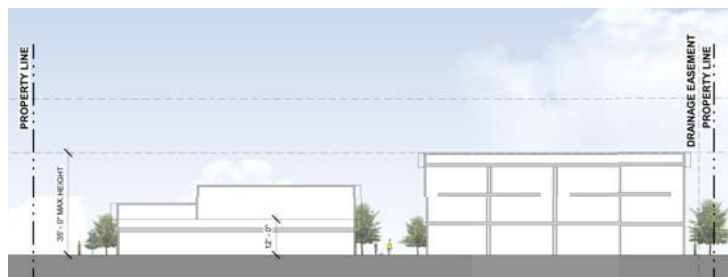
EXTERIOR BIKE STORAGE EXAMPLE
TYPE 1 BIKE RACK



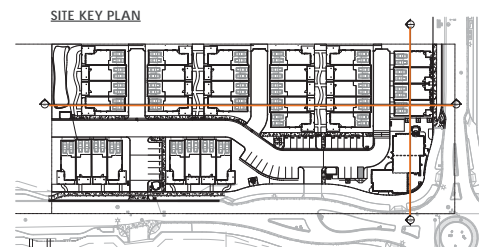
TYPE 1 BIKE RACK 10 SPACES
TYPE 2 BIKE RACK 15 SPACES
(2) 5-BIKE
(5) 3-BIKE
25 TOTAL BIKE SPACES



SITE SECTION 1
SCALE 1" = 20'-0"



SITE SECTION 2
SCALE 1" = 20'-0"



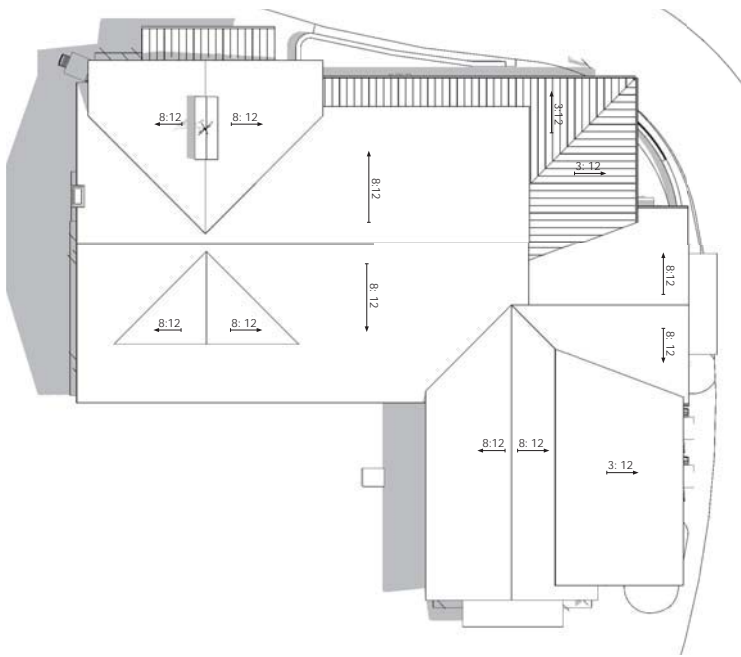




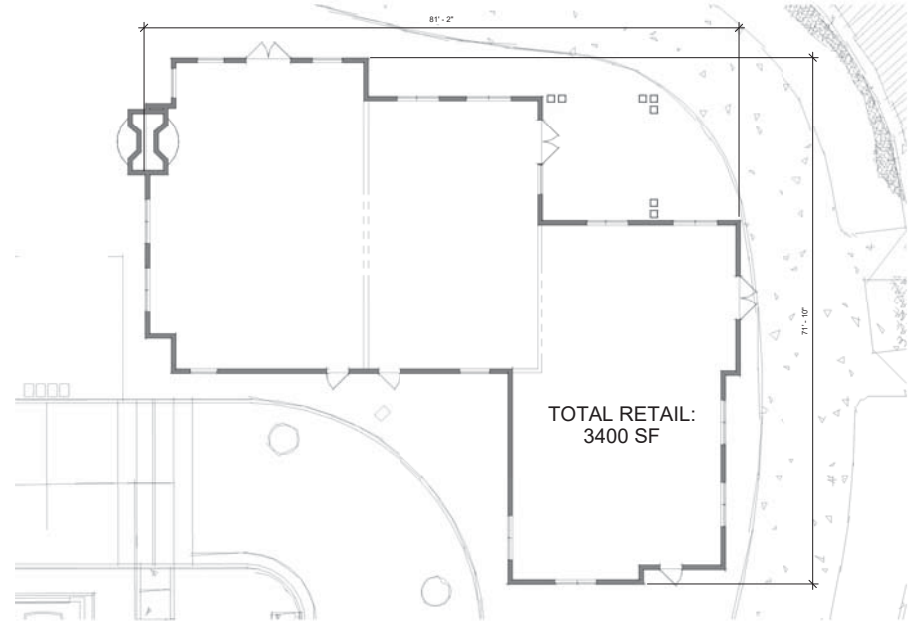
RESIDENTIAL NEIGHBORHOOD CHARACTER ILLUSTRATION



RETAIL & LIVE-WORK CHARACTER ILLUSTRATION



ROOF PLAN

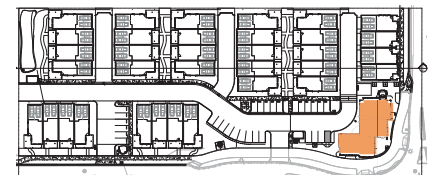


FLOOR PLAN



BUILDING PERSPECTIVE

SITE KEY PLAN





PLAN NORTH ELEVATION

- (A) BOARD AND BATT SIDING

(B) STANDING SEAM METAL ROOF

(C) ASPHALT SHINGLE ROOF

(D) FARMHOUSE STYLE ARCHITECTURAL ACCENTS / FEATURES
- (E) OUTDOOR COMMERCIAL SPACE USAGE

(F) EXTERIOR GAS FIREPLACE ACCENT



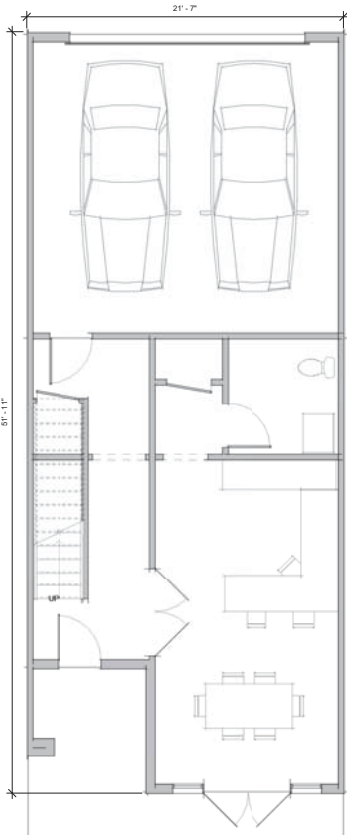
PLAN SOUTH ELEVATION



PLAN WEST ELEVATION

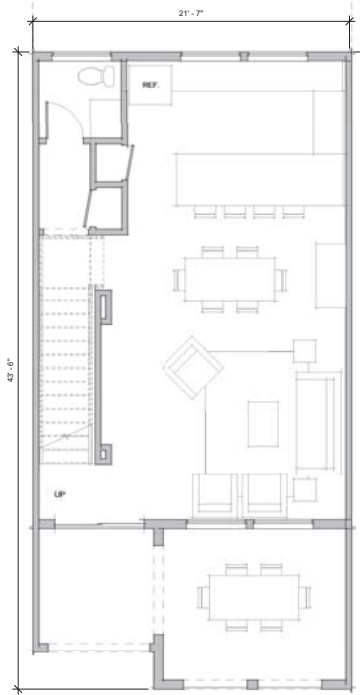


PLAN EAST ELEVATION

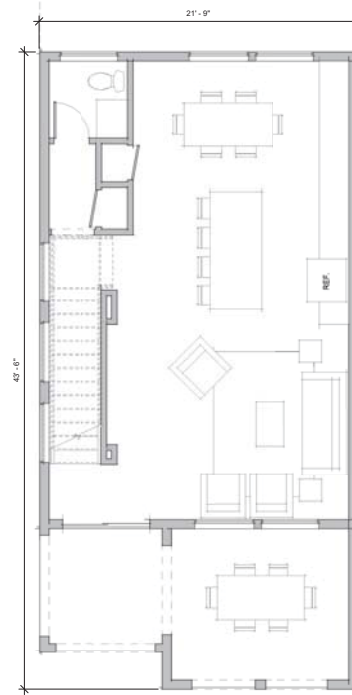


GROUND FLOOR PLAN
UNIT A & B

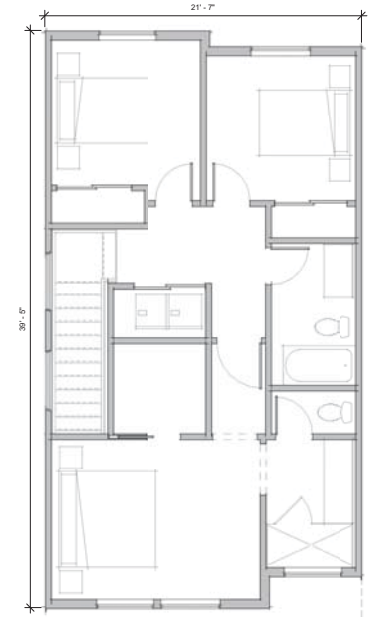
Ground Floor Live-Work: 600 sf
 Second Floor: 700 sf
 Third Floor: 760 sf
 Total Living: 1,460 sf
 Total Live Work: 600 sf
 Garage: 450 sf



SECOND FLOOR PLAN
UNIT B - INTERIOR UNIT



UNIT A - END UNIT



THIRD FLOOR PLAN
UNIT A & B



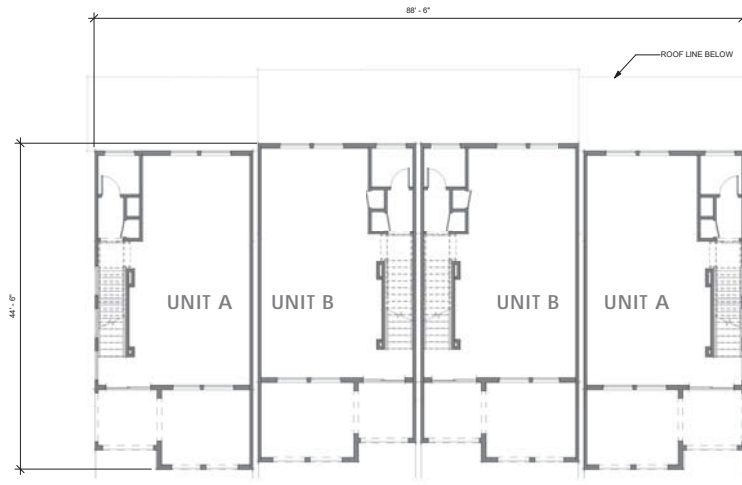
Residential & Mixed-Use ARC
 Orcutt Area Specific Plan, San Luis Obispo, CA

LIVE-WORK UNIT FLOOR PLANS

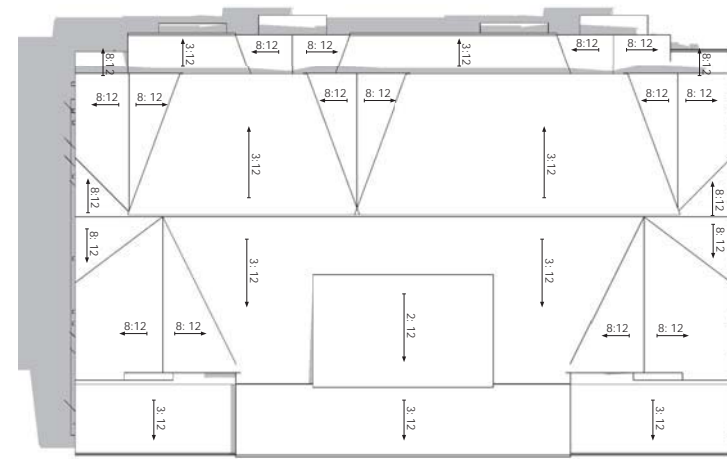


0345-01-RS15 June 18, 2018

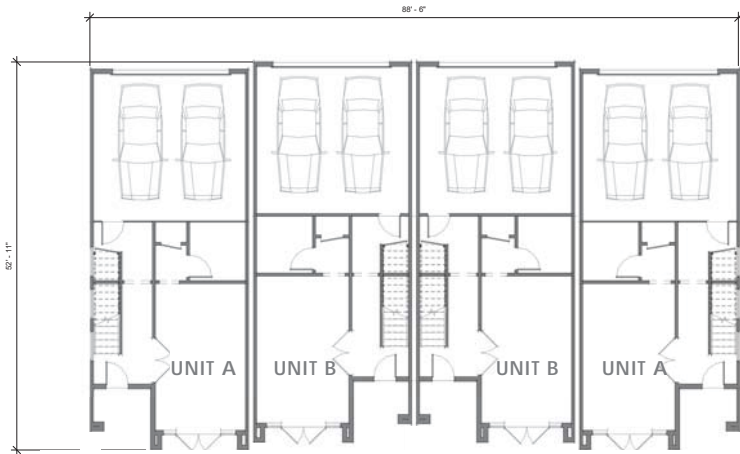
A16
LIVE-WORK



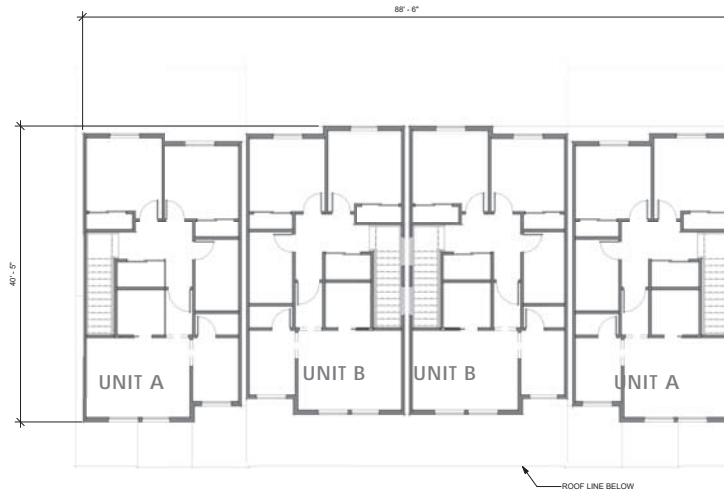
SECOND FLOOR BUILDING PLAN



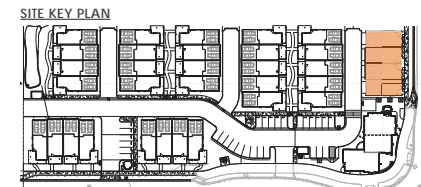
BUILDING ROOF PLAN



GROUND FLOOR BUILDING PLAN



THIRD FLOOR BUILDING PLAN



SITE KEY PLAN



PLAN EAST ELEVATION



PLAN WEST ELEVATION



BUILDING PERSPECTIVE

- (A) BOARD AND BATT SIDING ACCENT
- (B) METAL AWNING WITH VINYL, SEE COLOR AND MATERIAL BOARD
- (C) ASPHALT SHINGLE ROOF
- (D) STUCCO, SEE COLOR AND MATERIAL BOARD
- (E) HORIZONTAL SIDING ACCENT - WOOD LOOK, OR EQ.
- (F) BRICK WAINSCOT BASE



PLAN NORTH ELEVATION



PLAN SOUTH ELEVATION

- PAINTED BOARD AND BATT SIDING (A)
- PAINTED HORIZONTAL SIDING WOOD LOOK OR EQ. (B)
- FLAT TRIM - SINGLE PROFILE DETAILING (C)
- METAL AWNING WITH VINYL (D)
- CUSTOM SIGNAGE (E)
- BRICK WAINSCOT BASE (F)



LIVE-WORK DETAIL VIGNETTE



RETAIL DETAIL VIGNETTE

- (A) PAINTED BOARD AND BATT SIDING
- (B) FARMHOUSE STYLE EXTERIOR LIGHTING
- (C) PAINTED ALUMINUM STOREFRONT
- (D) TRADITIONAL FARMHOUSE STYLE WOOD AWNING
- (E) CUSTOM SIGNAGE
- (F) DECORATIVE FARMHOUSE STYLE WEATHER VAYNE
- (G) METAL ROOF ACCENTS (CORRUGATED METAL AT ARCHITECTURAL FEATURE AND STANDING SEAM AT AWNING SHOWN)

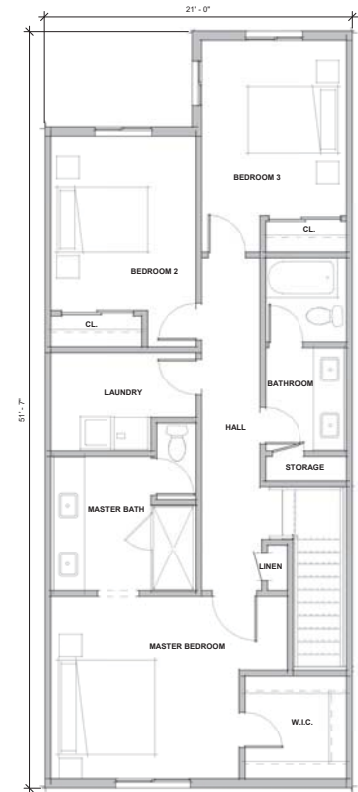
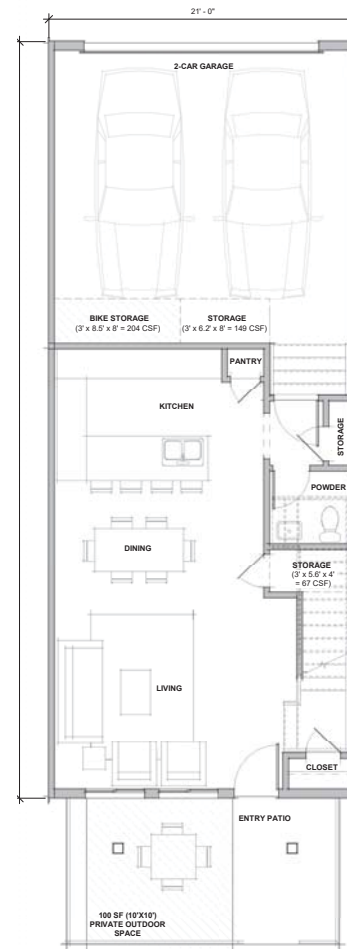
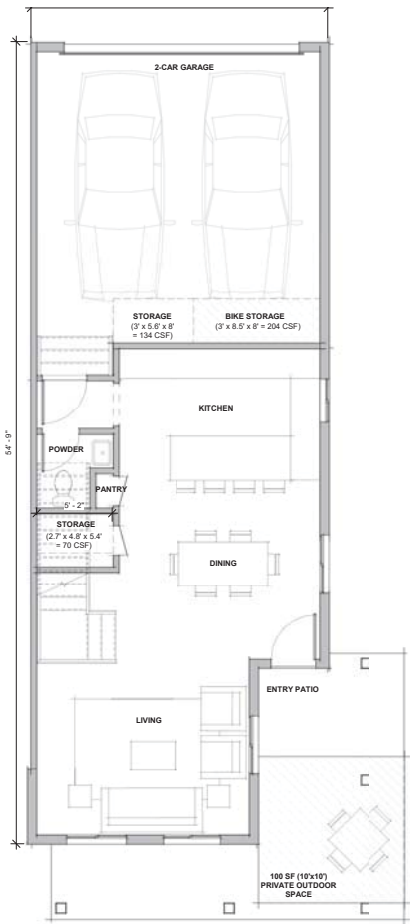


LIVE-WORK COLOR SCHEME

1.	<p>1. MAIN COLOR 1 REFLECTION SHERWIN WILLIAMS SW 7661</p>
2.	<p>2. MAIN COLOR 2 SMOKY BLUE SHERWIN WILLIAMS SW 7604</p>
3.	<p>3. ACCENT COLOR EXTRA WHITE SHERWIN WILLIAMS SW 7006</p>
4.	<p>4. BRICK ACCENT EL DORADO STONE TUNDRA BRICK IN ASHLAND</p>
5.	<p>5. ASPHALT SHINGLE ROOF GAF ROOFING TIMBERLINE HD PEWTER GRAY</p>
6.	<p>6. FABRIC AWNINGS SUNBRELLA DUBONNET TWEED</p>
7.	<p>7. LIGHT FIXTURE BLACK FARMHOUSE WALL SCONCE</p>
8.	<p>8. GARAGE DOOR 1 FARMHOUSE WITH CLEAR GLASS IN TAUPE</p>
9.	<p>9. GARAGE DOOR 2 RANCH WITH CLEAR GLASS IN TAUPE</p>

COMMERCIAL COLOR SCHEME

1.	<p>1. MAIN COLOR 1 REFLECTION SHERWIN WILLIAMS SW 7661</p>
2.	<p>2. MAIN COLOR 2 EXTRA WHITE SHERWIN WILLIAMS SW 7006</p>
3.	<p>3. STANDING SEAM ROOF AEP SPAN ZINC GRAY</p>
4.	<p>4. ASPHALT SHINGLE ROOF GAF ROOFING TIMBERLINE HD PEWTER GRAY</p>
5.	<p>5. FABRIC AWNINGS SUNBRELLA DUBONNET TWEED</p>
6.	<p>6. LIGHT FIXTURE BLACK FARMHOUSE WALL SCONCE</p>



UNIT A - END UNIT FLOOR PLAN

GROUND FLOOR PLAN
 Ground Floor: 620 sf
 Second Floor: 960 sf
 Total Living: 1,580 sf
 Garage: 435 sf

SECOND FLOOR PLAN

UNIT B - INTERIOR UNIT FLOOR PLAN

GROUND FLOOR PLAN
 Ground Floor: 620 sf
 Second Floor: 980 sf
 Total Living: 1,600 sf
 Garage: 460 sf

SECOND FLOOR PLAN



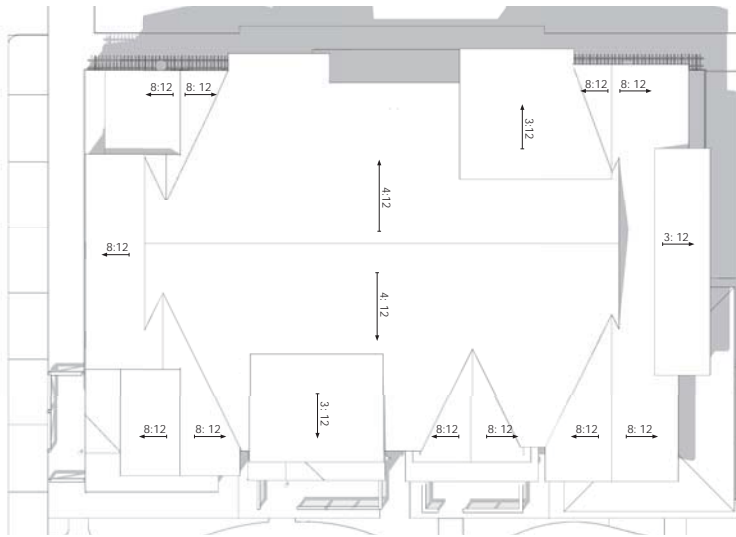
Residential & Mixed-Use ARC
 Orcutt Area Specific Plan, San Luis Obispo, CA

TOWN-HOUSE UNIT FLOOR PLANS

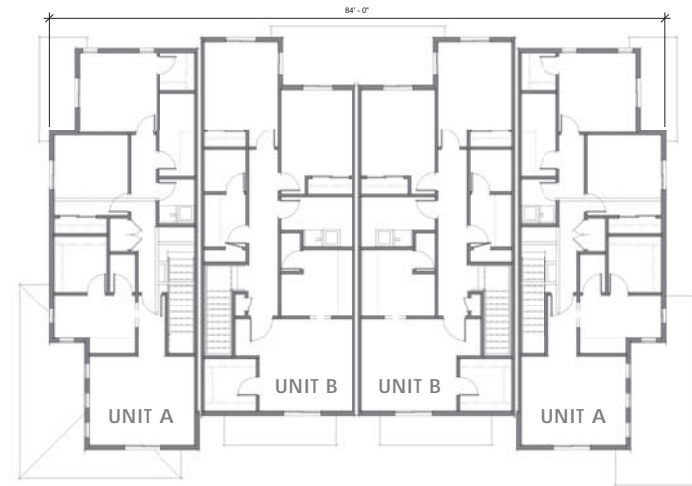
SCALE 1/4" = 1'-0"
 (1/4" x 3/8" = 1/8")
 0 2 4 8 12

0345-01-RS15 June 18, 2018

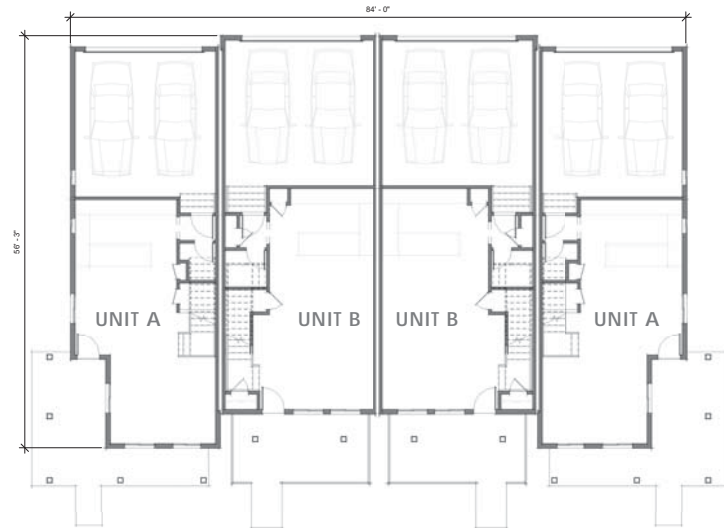
A21
 TOWN HOUSE



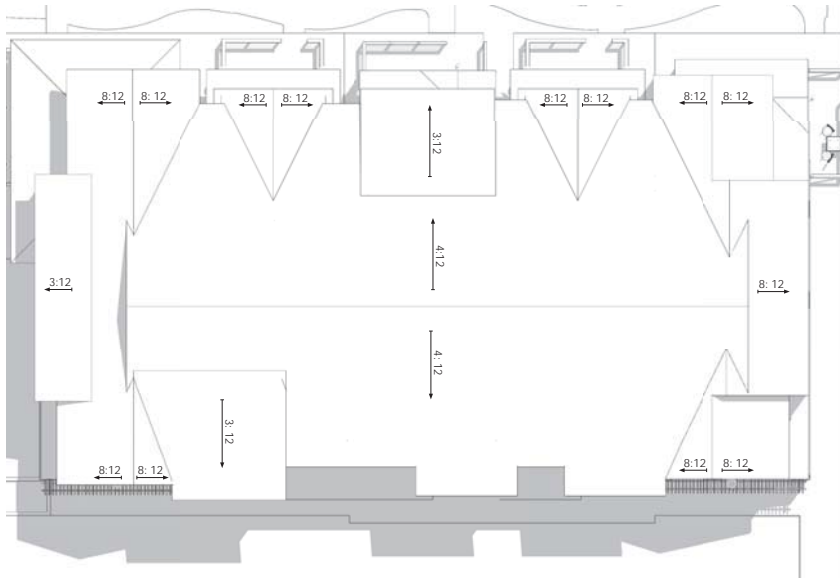
ROOF PLAN



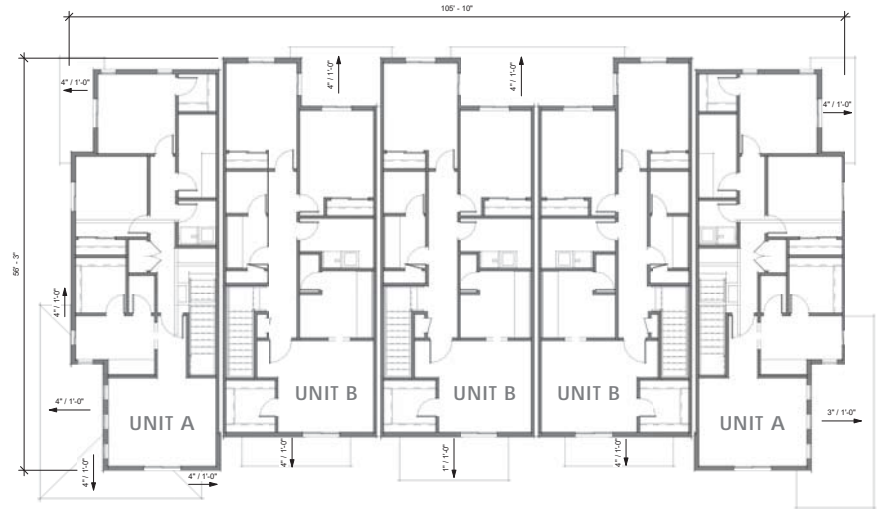
SECOND FLOOR PLAN



GROUND FLOOR PLAN



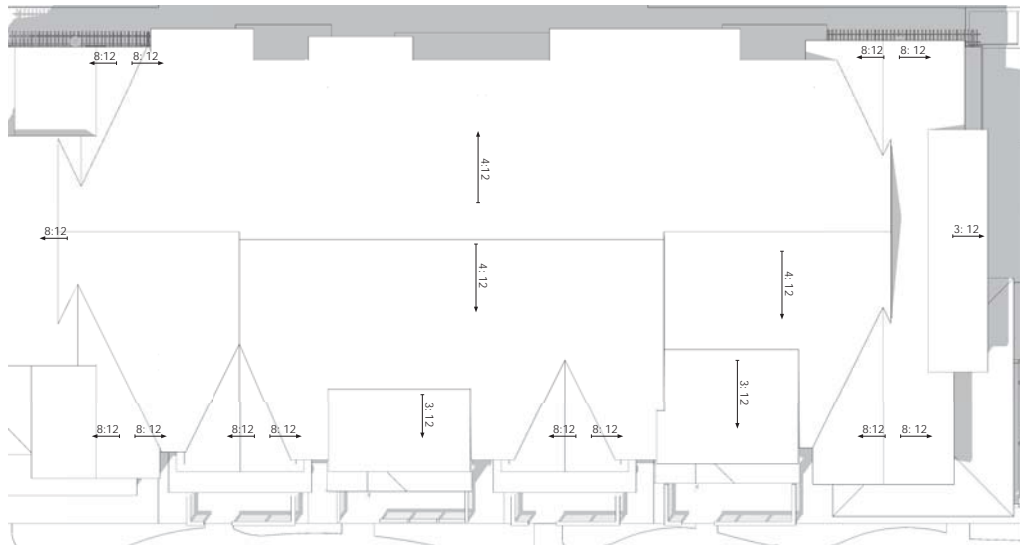
ROOF PLAN



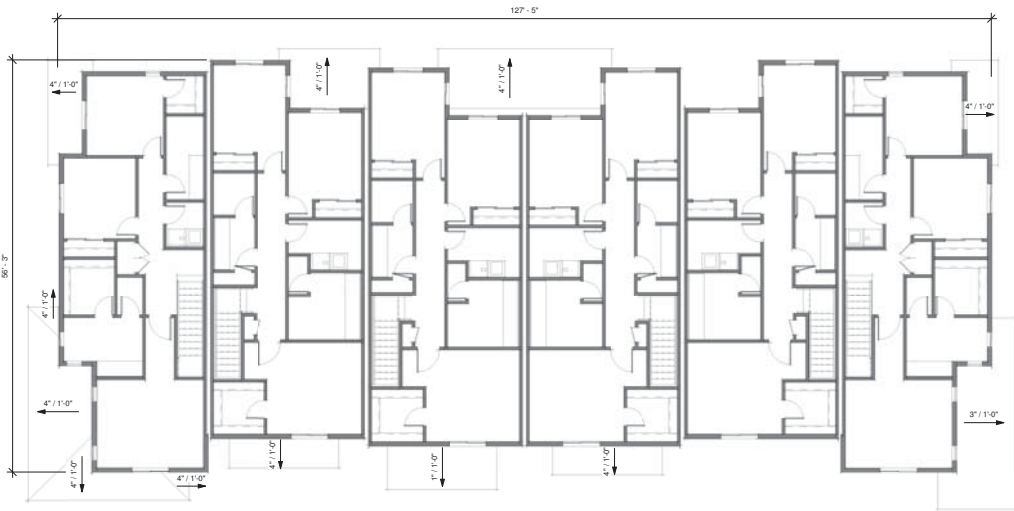
SECOND FLOOR PLAN



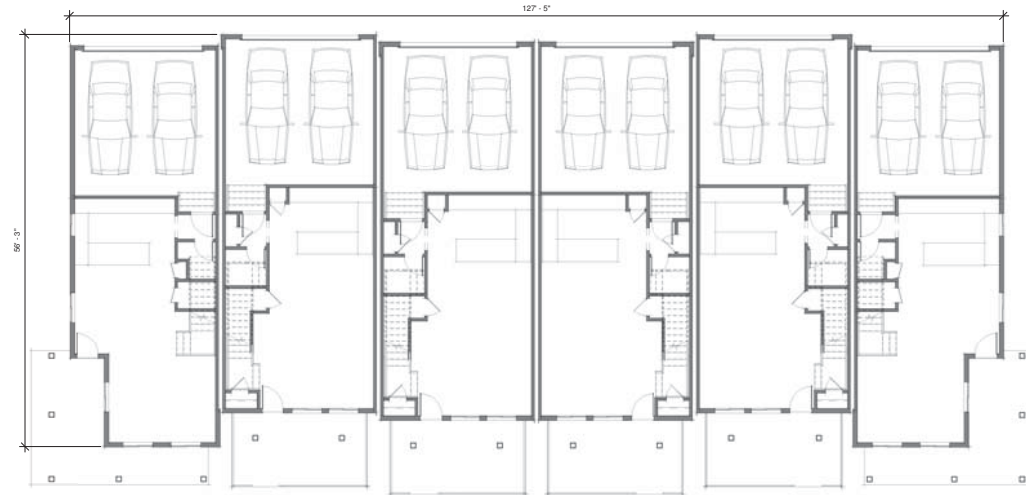
GROUND FLOOR PLAN



ROOF PLAN



SECOND FLOOR BUILDING PLAN



GROUND FLOOR BUILDING PLAN



Residential & Mixed-Use ARC
 Orcutt Area Specific Plan, San Luis Obispo, CA

6-PLEX BUILDING FLOOR PLANS

SCALE 1/8" = 1'-0"
 (SEE EXHIBIT 4.11)

0345-01-RS15 June 18, 2018

A24
 TOWN HOUSE



GARAGE ELEVATION



PLAN EAST ELEVATION

- (A) BOARD AND BATT SIDING ACCENT, SEE COLOR AND MATERIAL BOARD

(B) STANDING SEAM METAL ROOF AT ENTRY

(C) ASPHALT SHINGLE ROOF, SEE COLOR AND MATERIAL BOARD
- (D) STUCCO, SEE COLOR AND MATERIAL BOARD

(E) HORIZONTAL SIDING ACCENT - WOOD LOOK, OR EQ., SEE COLOR AND MATERIAL BOARD

(F) ELEVATIONS PRESENT MIX OF (4) PORCH STYLES, ROOF STYLES, (4) RAILING STYLES, AND (3) COLOR MIXES



FRONT ELEVATION



PLAN WEST ELEVATION



GARAGE ELEVATION

- (A) BOARD AND BATT SIDING ACCENT, SEE COLOR AND MATERIAL BOARD
- (B) STANDING SEAM METAL ROOF AT ENTRY
- (C) ASPHALT SHINGLE ROOF, SEE COLOR AND MATERIAL BOARD
- (D) STUCCO, SEE COLOR AND MATERIAL BOARD
- (E) HORIZONTAL SIDING ACCENT - WOOD LOOK, OR EQ., SEE COLOR AND MATERIAL BOARD
- (F) ELEVATIONS PRESENT MIX OF (4) PORCH STYLES, ROOF STYLES, (4) RAILING STYLES, AND (3) COLOR MIXES



FRONT ELEVATION



PLAN EAST ELEVATION



PLAN WEST ELEVATION



GARAGE ELEVATION



PLAN EAST ELEVATION

- (A) BOARD AND BATT SIDING ACCENT, SEE COLOR AND MATERIAL BOARD

(B) STANDING SEAM METAL ROOF AT ENTRY

(C) ASPHALT SHINGLE ROOF, SEE COLOR AND MATERIAL BOARD
- (D) STUCCO, SEE COLOR AND MATERIAL BOARD

(E) HORIZONTAL SIDING ACCENT - WOOD LOOK, OR EQ., SEE COLOR AND MATERIAL BOARD

(F) ELEVATIONS PRESENT MIX OF (4) PORCH STYLES, ROOF STYLES, (4) RAILING STYLES, AND (3) COLOR MIXES



FRONT ELEVATION



PLAN WEST ELEVATION

- (A) PAINTED BOARD AND BATT SIDING
- (B) ROOF / EAVE TYPE ALTERNATE - (CONTEMPORARY '0' EAVE SHOWN)
- (C) FLAT TRIM - SINGLE PROFILE DETAILING
- (D) ALUMINUM - LOW TO MED. PROFILE WINDOWS
- (E) ATTIC VENT W/ ACCENT TRIM



RESIDENTIAL DETAIL VIGNETTE



RESIDENTIAL DETAIL VIGNETTE

- (A) PAINTED BOARD AND BATT SIDING
- (B) HORIZONTAL SIDING - WOOD LOOK, OR EQ. PAINTED PER COLOR SCHEME
- (C) STUCCO PER COLOR SCHEME
- (D) CUSTOM MIX OF PORCH @ ENTRIES - ROOF TYPE/RAILING/COLOR MIX
- (E) FARMHOUSE STYLE EXTERIOR LIGHTING
- (F) STANDING SEAM METAL ROOF ACCENT



COLOR SCHEME 1



1. **FEATURE COLOR**
SANTORINI BLUE
SHERWIN WILLIAMS SW 7607



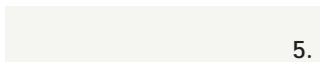
2. **MAIN COLOR 1**
WESTHIGHLAND WHITE
SHERWIN WILLIAMS SW 7566



3. **MAIN COLOR 2**
BIG CHILL
SHERWIN WILLIAMS SW 7648



4. **MAIN COLOR 3**
NATURAL LINEN
SHERWIN WILLIAMS SW 9109



5. **ACCENT COLOR**
WESTHIGHLAND WHITE
SHERWIN WILLIAMS SW 7566



6. **ASPHALT SHINGLE ROOF**
GAF ROOFING TIMBERLINE HD
PEWTER GRAY



7. **STANDING SEAM ROOF**
AEP SPAN
REGAL WHITE

8. **STANDING SEAM ROOF**
AEP SPAN
ZINC GRAY

9. **LIGHT FIXTURE**
BLACK FARMHOUSE WALL SCONCE

10. **GARAGE DOOR 1**
FARMHOUSE WITH CLEAR GLASS IN
TAUPE

11. **GARAGE DOOR 2**
RANCH WITH CLEAR GLASS IN TAUPE



COLOR SCHEME 2



1. **FEATURE COLOR**
BOLERO
SHERWIN WILLIAMS SW 7600



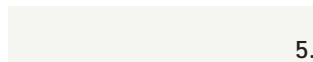
2. **MAIN COLOR 1**
WESTHIGHLAND WHITE
SHERWIN WILLIAMS SW 7566



3. **MAIN COLOR 2**
BIG CHILL
SHERWIN WILLIAMS SW 7648



4. **MAIN COLOR 3**
CLASSIC FRENCH GRAY
SHERWIN WILLIAMS SW 0077



5. **ACCENT COLOR**
WESTHIGHLAND WHITE
SHERWIN WILLIAMS SW 7566



6. **ASPHALT SHINGLE ROOF**
GAF ROOFING TIMBERLINE HD
BARKWOOD



7. **STANDING SEAM ROOF**
AEP SPAN
REGAL WHITE

8. **STANDING SEAM ROOF**
AEP SPAN
ZINC GRAY

9. **LIGHT FIXTURE**
BLACK FARMHOUSE WALL SCONCE

10. **GARAGE DOOR 1**
FARMHOUSE WITH CLEAR GLASS IN
TAUPE

11. **GARAGE DOOR 2**
RANCH WITH CLEAR GLASS IN TAUPE



COLOR SCHEME 3



1. **FEATURE COLOR**
CLASSIC FRENCH GRAY
SHERWIN WILLIAMS SW 0077



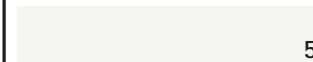
2. **MAIN COLOR 1**
WESTHIGHLAND WHITE
SHERWIN WILLIAMS SW 7566



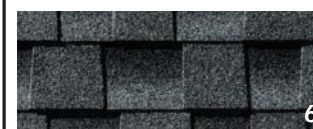
3. **MAIN COLOR 2**
BIG CHILL
SHERWIN WILLIAMS SW 7648



4. **MAIN COLOR 3**
NATURAL LINEN
SHERWIN WILLIAMS SW 9109



5. **ACCENT COLOR**
WESTHIGHLAND WHITE
SHERWIN WILLIAMS SW 7566



6. **ASPHALT SHINGLE ROOF**
GAF ROOFING TIMBERLINE HD
PEWTER GRAY



7. **STANDING SEAM ROOF**
AEP SPAN
REGAL WHITE

8. **STANDING SEAM ROOF**
AEP SPAN
ZINC GRAY

9. **LIGHT FIXTURE**
BLACK FARMHOUSE WALL SCONCE

10. **GARAGE DOOR 1**
FARMHOUSE WITH CLEAR GLASS IN
TAUPE

11. **GARAGE DOOR 2**
RANCH WITH CLEAR GLASS IN TAUPE

