

# 2855 MCMILLAN

San Luis Obispo, California



**Arris**  
STUDIO ARCHITECTS

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1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

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THOMAS E. JESS  
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STEPHEN A. BIGOR  
ARCHITECT (CA) #C33672

**2855 McMillan Ave.**  
San Luis Obispo, Ca

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**COVER SHEET**

Date 01/26/2022  
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## PROJECT DESCRIPTION

THIS PROJECT PROPOSES THE CONSTRUCTION OF A 2-STORY OFFICE & WAREHOUSE BUILDING AT 2855 MCMILLAN AVE., IN SAN LUIS OBISPO. THE PROPOSED BUILDING IS ROUGHLY 8300 SF AND CONTAINS A PARTIAL 2ND FLOOR OFFICE & STORAGE SPACE. THE SITE AND ADJACENT PARCELS ARE ZONED 'M' MANUFACTURING WITH APPROVED USES FOR LIGHT MANUFACTURING AND STORAGE. THE PROPOSED OFFICE USE REQUIRES A MINOR USE PERMIT. ALL PARKING FOR THE BUILDING WOULD BE PROVIDED ON-SITE INCLUDING ALL REQUIRED ADA PARKING AND ELECTRIC VEHICLE SPACES. ADDITIONAL SITE IMPROVEMENTS INCLUDE SIDEWALK, CURB AND GUTTER, DRIVEWAY ENTRANCE AND TRASH/RECYCLE ENCLOSURE.

A MAJOR ASPECT OF THIS DEVELOPMENT IS THE TREATMENT OF AN EXISTING DRAINAGE SWALE RUNNING THROUGH THE PROPERTY. WE ARE PROPOSING TO CULVERTIZE THE SWALE AS A PART OF THE IMPROVEMENTS. THE ADDITION OF THE CULVERT WILL HELP SOLVE THE EROSION PROBLEM ADJACENT TO MCMILLAN AVE. AS WELL AS IMPROVE SAFETY AND ALLOW FOR A SIDEWALK, CURB AND GUTTER TO BE INSTALLED. IT IS BECAUSE OF THIS WORK THAT WE WILL ALSO NEED THE APPROVAL OF VARIOUS STATE AGENCIES, INCLUDING FISH & WILDLIFE, ARMY CORP OF ENGINEERS AND THE WATER BOARD. A CULTURAL RESOURCES STUDY WILL BE REQUIRED BY THE ARMY CORP OF ENGINEERS FOR THEIR CONSULTATION WITH THE STATE HISTORIC PRESERVATION OFFICER PURSUANT TO SECTION 106 OF THE NATIONAL HISTORIC PRESERVATION ACT. THIS CULTURAL RESOURCES STUDY WILL ALSO BE SUBMITTED TO THE CITY OF SAN LUIS OBISPO FOR THEIR REVIEW AND INCLUSION IN THE INITIAL STUDY. IN THE EVENT THAT CULTURAL RESOURCES ARE FOUND, COMPLIANCE WITH SECTION 106 WILL BE REQUIRED.

BASED ON PREVIOUSLY PROPOSED DEVELOPMENTS FOR THIS PARCEL, A MITIGATED NEGATIVE DECLARATION IS ANTICIPATED, AND IT IS UNLIKELY THAT AN ENVIRONMENTAL IMPACT REPORT WILL BE TRIGGERED. NONE THE LESS, ALL TECHNICAL REPORTS ARE BEING PROVIDED TO ASSESS THE IMPACTS OF WORK ON THIS SITE.

IN ACCORDANCE WITH THE CITY OF SAN LUIS OBISPO ZONING REGULATIONS THE FOLLOWING EXCEPTIONS ARE REQUESTED.

- OFFICE USE IN 'M' ZONE PER (17.40.030)**  
PER THE CITY'S ZONING REGULATIONS 17.40.030, APPROVAL OF AN OFFICE IN THE 'M' ZONE REQUIRES THAT THE PROJECT IS COMPATIBLE WITH EXISTING AND ALLOWED LAND USES IN THE AREA AND THAT THE PROJECT WILL NOT PRECLUDE INDUSTRIAL OR SERVICE USES IN THE AREA.  
BASED ON THE EXCEPTION REQUIREMENTS, WE FEEL THAT OUR PROJECT COMPLIES BECAUSE THERE ARE A NUMBER OF EXISTING OFFICE USES ON MCMILLAN AVE., INCLUDING BOEING AND CRESCENT HEALTHCARE. ADDITIONALLY, THE PROPOSED OFFICE USE FOR THE PROJECT IS LESS THAN 50% OF THE BUILDING AND WILL PRIMARILY BE USED FOR WAREHOUSE AND STORAGE USES.
- CREEK SETBACK PER (17.70.030)**  
WE ARE REQUESTING AN EXCEPTION TO THE CREEK SETBACK DUE TO THE FACT THAT WE ARE PROPOSING TO CULVERTIZE THE CREEK. CULVERTIZING THE CREEK HAS MANY BENEFITS INCLUDING SOLVING AN EROSION PROBLEM ALONG THIS SECTION OF MCMILLAN AS WELL AS ALLOWING FOR THE PUBLIC IMPROVEMENTS OF A CURB, GUTTER AND SIDEWALK TO BE INSTALLED.
- COMPENSATORY TREE PLANTING (12.24.090 (J))**  
WE ARE REQUESTING AN EXCEPTION TO THE 1 TO 1 RATIO OF COMPENSATORY TREE PLANTING FOR THE (5) LIVE OAK TREES THAT ARE TO BE REMOVED ON SITE. WE PROPOSE TO PROVIDE (1) REPLACEMENT COASTAL LIVE OAK TREE IN THE CORNER OF THE SITE. THE REMAINING LANDSCAPE AREAS ARE WITHIN PARKING AREAS OR ALONG MCMILLAN AND ARE NOT SUITABLE FOR A TREE OF THAT SIZE (PER THE CITY'S STREET TREE LIST)

### INCLUSIONARY HOUSING REQUIREMENT - IN LIEU FEE

PER SLO MC 17.138.040(A)(2) - A METHOD FOR MEETING THE INCLUSIONARY HOUSING REQUIREMENT IS TO PAY AN IN-LIEU FEE AS DESCRIBED IN TABLE 2. THE ESTIMATED AMOUNT FOR THIS PROJECT BASED ON VALUATION IS: \$35,800

### PUBLIC ART REQUIREMENT - IN LIEU FEE

PER SLO MC 17.70.140(D)(3) - AS AN ALTERNATIVE TO PUBLIC ART, THE DEVELOPER MAY PAY .5% OF TOTAL CONSTRUCTION COSTS IN EXCESS OF \$100,000 TOWARDS A PUBLIC ART IN-LIEU ACCOUNT. THE ESTIMATED AMOUNT FOR THIS PROJECT BASED ON VALUATION IS: \$3,080

## CLEAN ENERGY CHOICE

THIS PROJECT IS SUBJECT TO THE ENERGY REACH CODE.  
Ordinance No. 1684 (SLOMC 15.04.110)

Choose one of the following:

The project has chosen the "All-Electric" building design.

The project has chosen the "Mixed-Fuel" building design.

Signature: \_\_\_\_\_

Position/Title: Owner

Date: 1/24/2022

For compliance instructions, please visit the following website:  
[www.slocity.org/cleanenergychoice](http://www.slocity.org/cleanenergychoice)



# 2855 MCMILLAN

San Luis Obispo, California

## PROJECT STATISTICS

ADDRESS:	2855 MCMILLAN AVE., SAN LUIS OBISPO, CA
ASSESSOR PARCEL NUMBER:	053-212-005
SITE AREA:	0.40 ACRES (17,250 SF)
ZONING:	M (MANUFACTURING)
ADJACENT ZONING:	M (MANUFACTURING)
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE, LIGHT MANUFACTURING, STORAGE
LOT COVERAGE ALLOWED:	75% (12,938 SF / 17,250 SF)
LOT COVERAGE PROPOSED:	35% (6,062 SF / 17,250 SF)
FLOOR AREA RATIO ALLOWED:	1.5 (25,875 SF / 17,250 SF)
FLOOR AREA RATIO PROPOSED:	0.48 (8,272 SF / 17,250 SF)
CONSTRUCTION TYPE:	TYPE VB
SPRINKLERS:	YES, NFPA 13
BUILDING AREA:	
LIGHT MANUFACTURING:	4,788 SF
OFFICE:	2,973 SF
STORAGE:	511 SF
<b>TOTAL AREA:</b>	<b>8,272 SF</b>
BUILDING HEIGHT:	
ALLOWABLE:	35'
PROPOSED:	34'-8"
PARKING REQUIRED:	
MANUF: (4,328 /1,000SF)	4.3 SPACES
OFFICE: (2,271 /300SF)	7.6 SPACES
STORAGE: (460 /1,500SF)	.3 SPACES
<b>TOTAL REQUIRED:</b>	<b>13 SPACES</b>
PARKING PROVIDED:	
STANDARD SPACES:	11 SPACES
ACCESSIBLE SPACES:	2 SPACES
<b>TOTAL PARKING PROVIDED:</b>	<b>13 SPACES</b>
EV READY SPACES REQUIRED:	2 SPACES
EV READY SPACES PROVIDED:	2 SPACES
EV CAPABLE SPACES REQUIRED:	7 SPACES (50% OF TOTAL)
EV CAPABLE SPACES PROVIDED:	7 SPACES
MOTORCYCLE PARKING REQUIRED:	1 SPACE (13 VEHICLE SPACES / 20)
MOTORCYCLE PARKING PROVIDED:	1 SPACE
BICYCLE PARKING REQUIRED:	
LONG TERM (MANUF):	1 BICYCLE (1 PER 2,000 SF) X 75%
SHORT TERM (MANUF):	1 BICYCLE (1 PER 2,000 SF) X 25%
LONG TERM (OFFICE):	1 BICYCLE (1 PER 1,500SF) X 75%
SHORT TERM (OFFICE):	1 BICYCLE (1 PER 1,000SF) X 25%
<b>TOTAL REQUIRED:</b>	<b>4 BICYCLES</b>

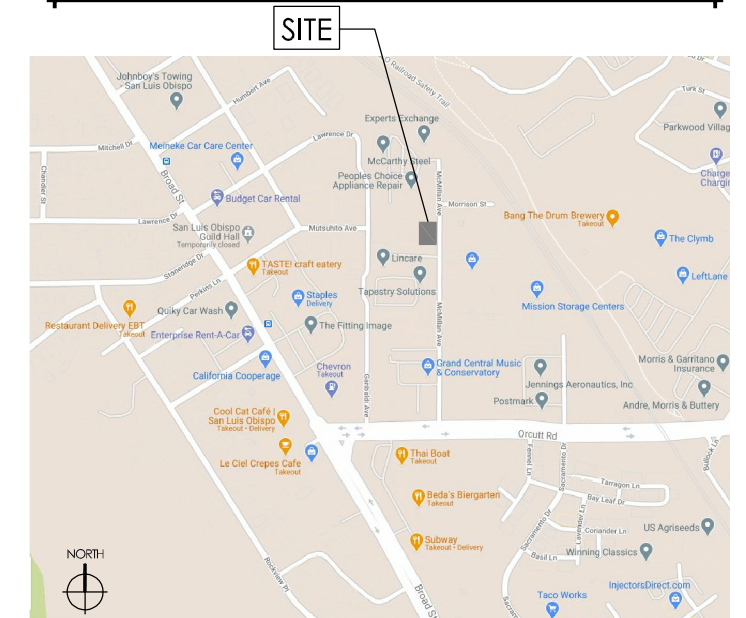
## DRAWING INDEX

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## PROJECT DIRECTORY

<b>OWNER</b>	
WADE CROSNO	5140 CABALLEROS AVE.
	SAN LUIS OBISPO, CA 93401
EMAIL:	WADE@CROSNOCONSTRUCTION.COM
<b>ARCHITECT</b>	
ARRIS STUDIO ARCHITECTS	1327 ARCHER STREET, SUITE 220
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ATTN:	REBECCA NEWMAN
PHONE:	(805) 547-2240 X122
EMAIL:	REBECCA@ARRIS-STUDIO.COM
<b>CIVIL ENGINEER</b>	
ASHLEY & VANCE ENGINEERING	1413 MONTEREY STREET
	SAN LUIS OBISPO, CA 93401
ATTN:	SHANNON JESSICA
PHONE:	(805) 545-0010
EMAIL:	SHANNON@ASHLEYVANCE.COM

## VICINITY MAP



## GENERAL NOTES

- FIRE PROTECTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CFC AND THE CALIFORNIA BUILDING CODE. AN APPROVED NFPA 14 FIRE SPRINKLER SYSTEM SHALL BE INCLUDED. DRAWINGS AND SPECIFICATIONS SHALL BE A DEFERRED SUBMITTAL.
- FIRE MAIN AND ALL ASSOCIATED CONTROL VALVES SHALL BE INSTALLED PER NFPA 24 STANDARDS AND CITY ENGINEERING STANDARDS.
- FIRE SAFETY DURING CONSTRUCTION: BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 34 OF THE CFC.

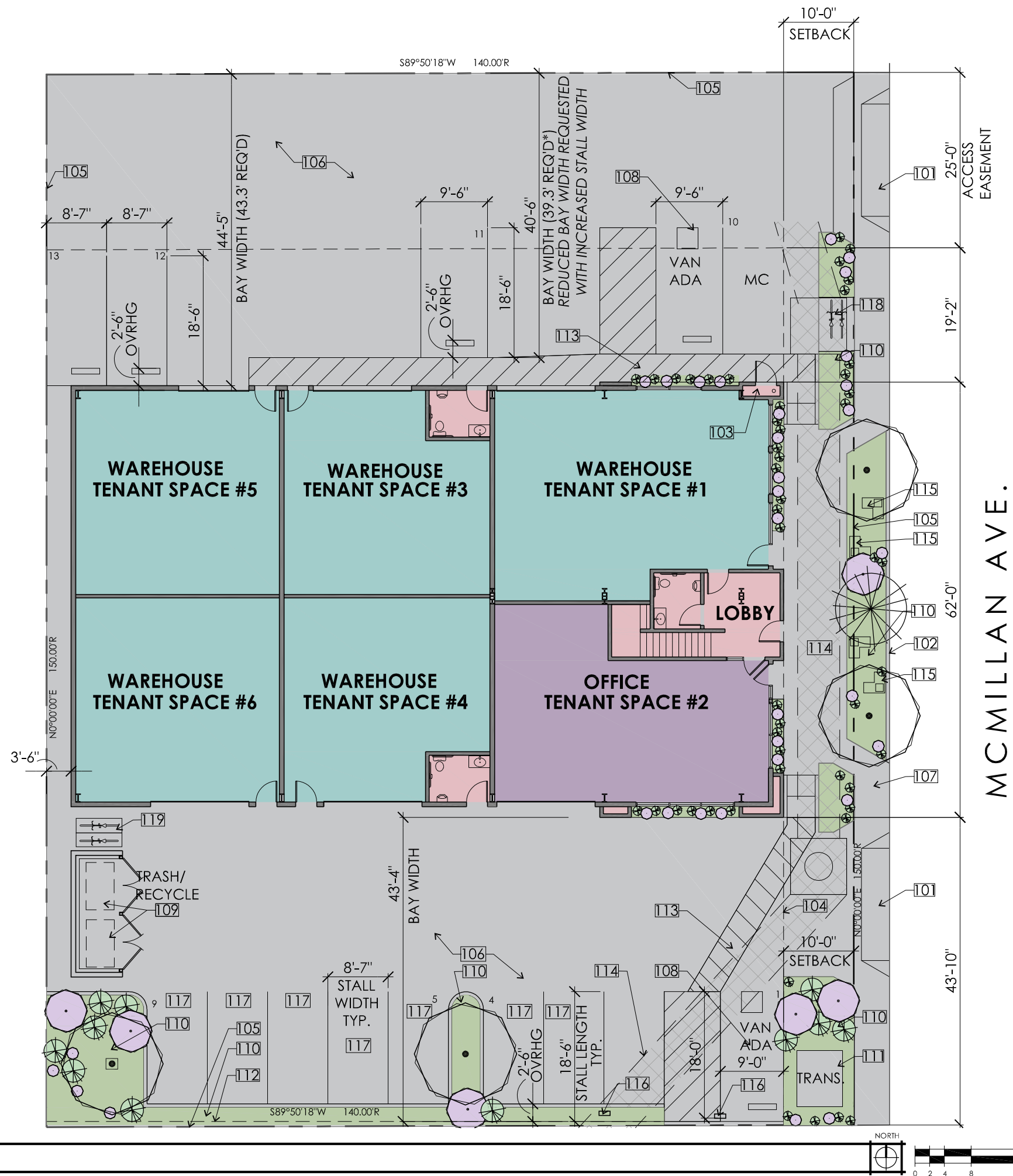


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**PROJECT INFO**

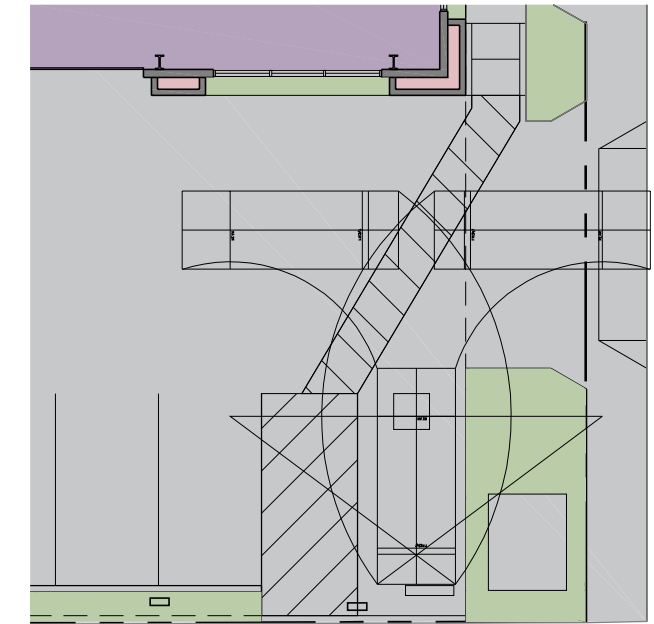
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**A1.1**



### REFERENCE NOTES

- 101 NEW CURB CUT PER CITY STANDARDS
- 102 NEW CURB, GUTTER, SIDEWALK PER CITY STANDARDS
- 103 FIRE RISER LOCATION
- 104 SET BACK
- 105 PROPERTY LINE
- 106 ASPHALT PAVING AT PARKING LOT
- 107 CONCRETE WALKWAY
- 108 ACCESSIBLE PARKING SPACE
- 109 TRASH/RECYCLING ENCLOSURE PER CITY STANDARDS - (2) 3CY BINS ANTICIPATED.
- 110 LANDSCAPE AREA
- 111 TRANSFORMER
- 112 LINE OF PARKING OVERHANG
- 113 ACCESSIBLE PATH STRIPING
- 114 PROPOSED CULVERT (SHOWN CROSS-HATCHED)
- 115 OUTDOOR SEATING AREA W/ CONCRETE BENCHES
- 116 EV READY CHARGING SPACE
- 117 EV CAPABLE CHARGING SPACE
- 118 SHORT TERM BICYCLE PARKING
- 119 LONG TERM BICYCLE PARKING



**SITE MANEUVERABILITY DIAGRAM W/ AASHTO TEMPLATE**  
SOUTH-EAST PARKING SPACE SHOWN (WORST CASE SCENARIO)

MCMILLAN AVE.

**SITE PLAN**

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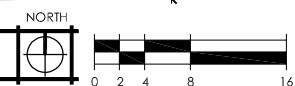
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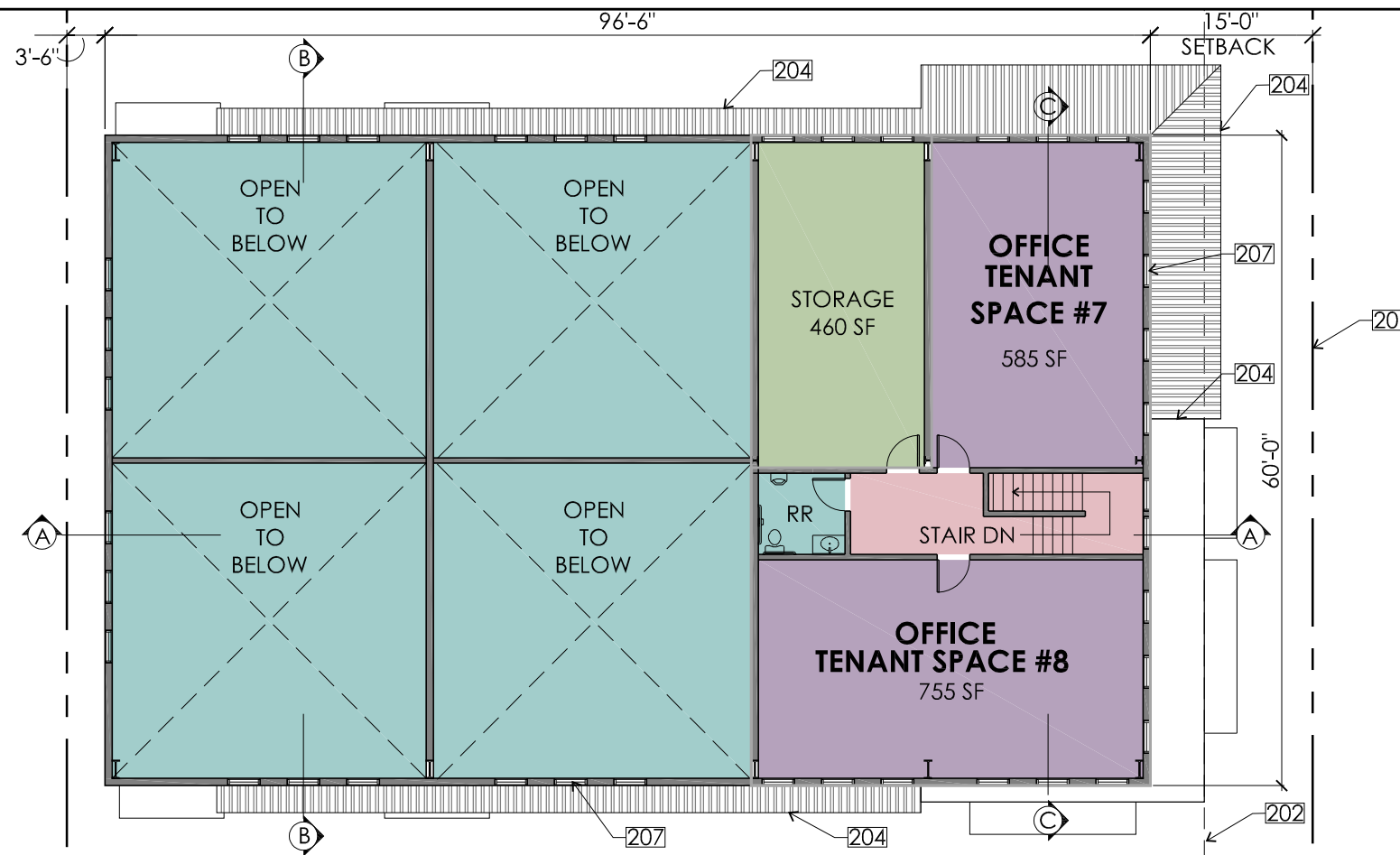
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1/8" = 1'-0" @ 24x36

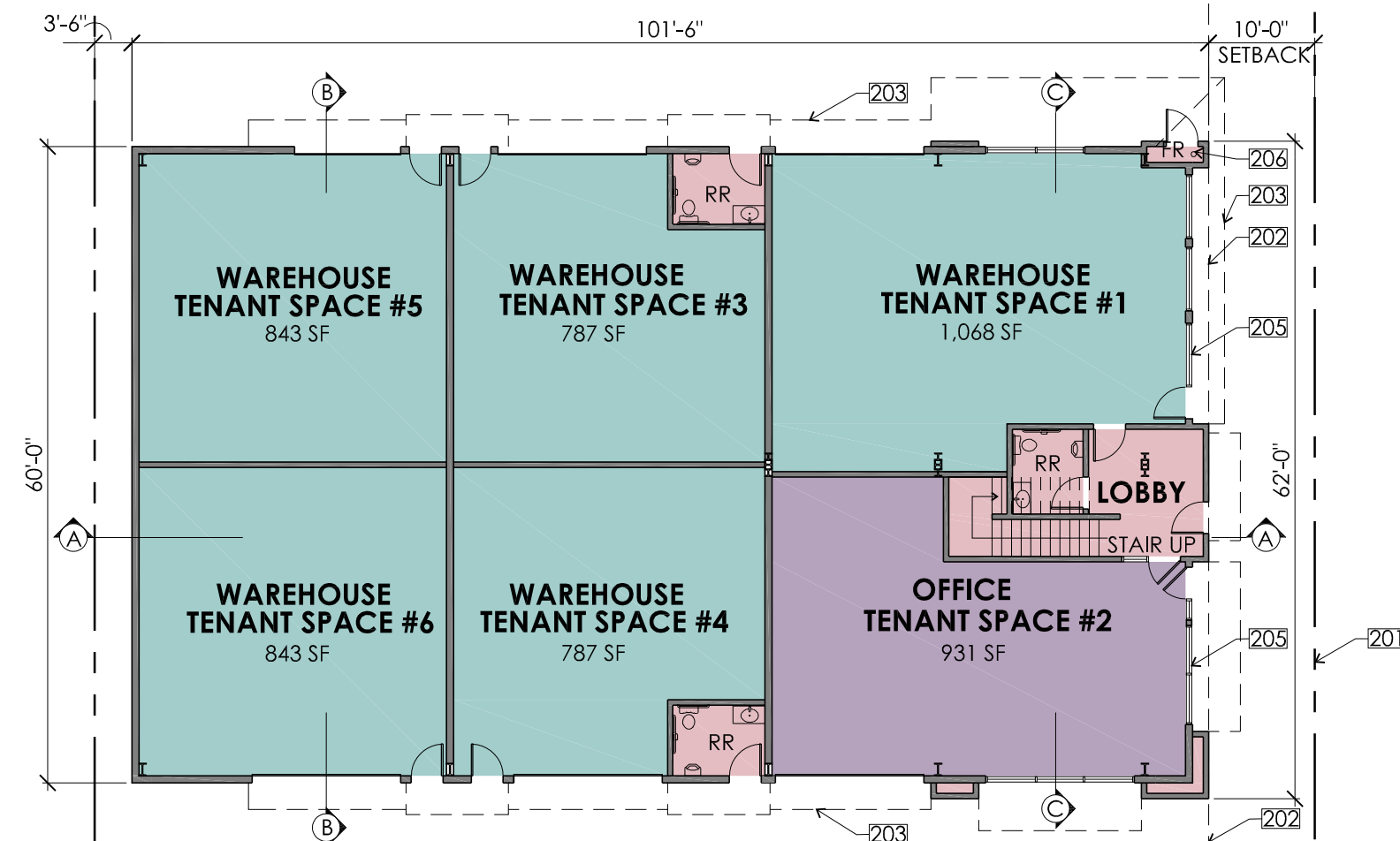
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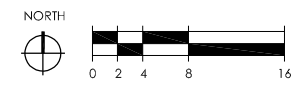


REFERENCE NOTES	
201	PROPERTY LINE
202	SETBACK
203	LINE OF AWNING ABOVE
204	LINE OF ROOF BELOW
205	ALUMINUM STOREFRONT
206	FIRE RISER ROOM
207	ALUMINUM FRAME WINDOWS

**SECOND FLOOR PLAN**



**FIRST FLOOR PLAN**



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**FIRST AND SECOND FLOOR**

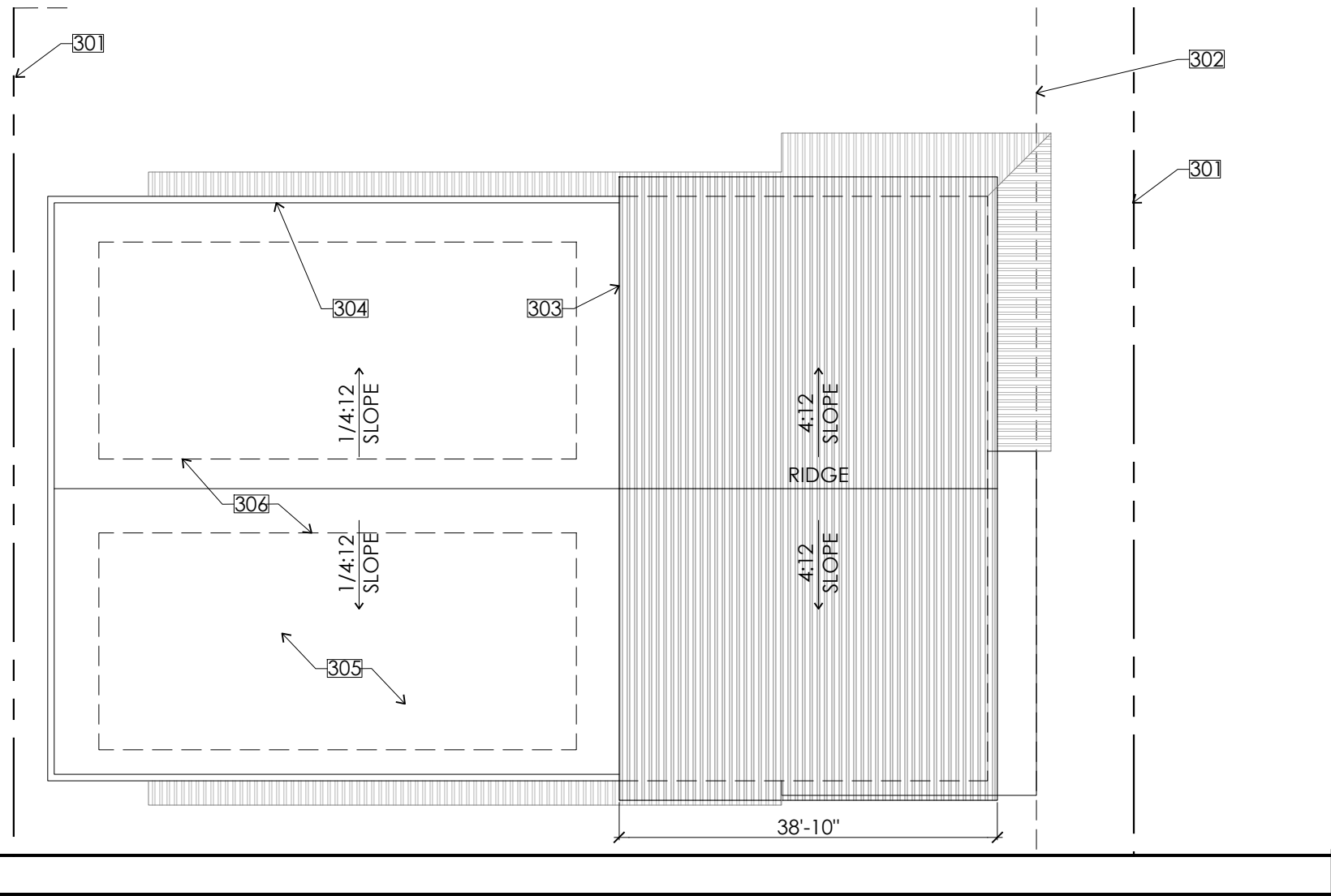
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# REFERENCE NOTES

- 301 PROPERTY LINE
- 302 SETBACK
- 303 GABLE ROOF W/ CORRUGATED METAL ROOFING
- 304 PARAPET WALL @ LOW SLOPE ROOF
- 305 GREY TPO ROOFING @ LOW SLOPE ROOF
- 306 LINE OF SCREENED AREA FOR ROOF TOP MECHANICAL EQUIPMENT / SOLAR



**ROOF PLAN**



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**ROOF PLAN**

Date: 01/26/2022

Scale:  
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Sheet

**A2.2**



FRONT PERSPECTIVE-MCMILLAN STREET VIEW LOOKING NORTH



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**PERSPECTIVE**

Date 01/26/2022  
Scale  
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FRONT PERSPECTIVE-MCMILLAN STREET VIEW LOOKING SOUTH

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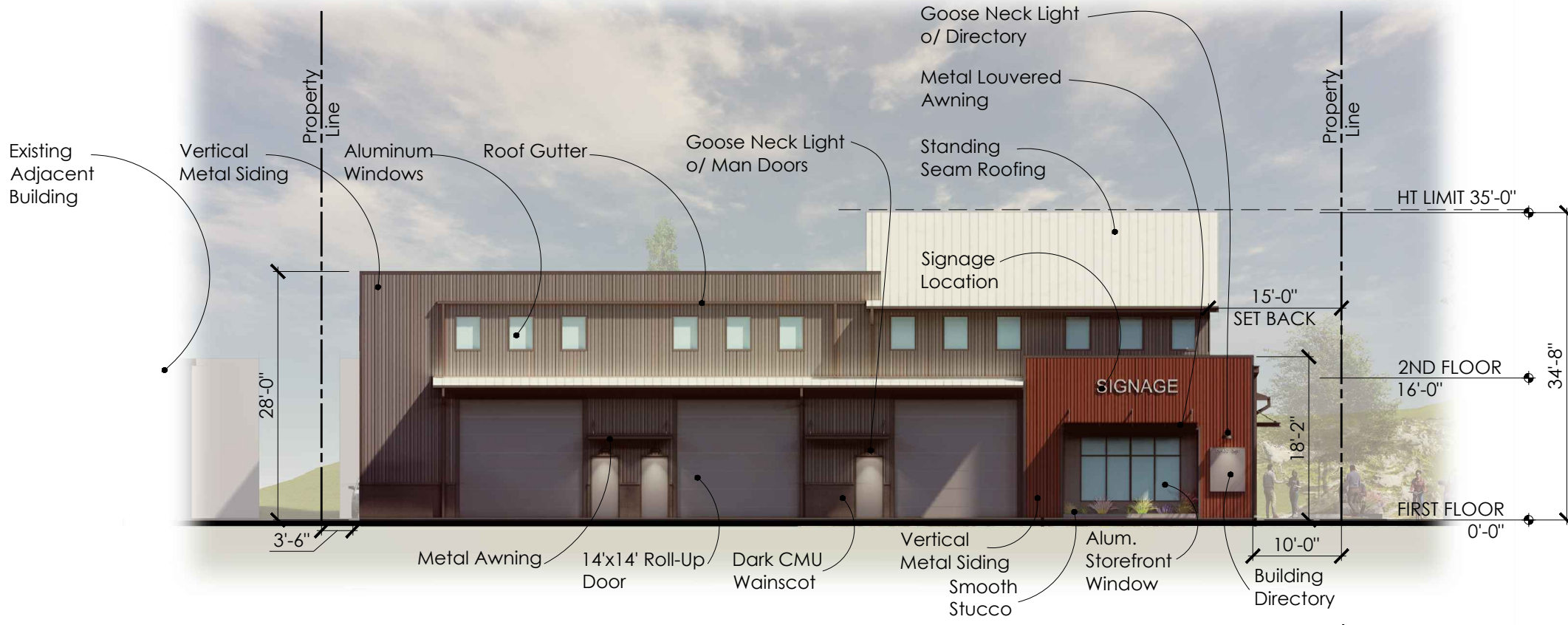
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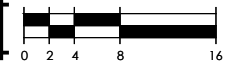
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**EAST ELEVATION - FACING MCMILLAN**



**SOUTH ELEVATION**



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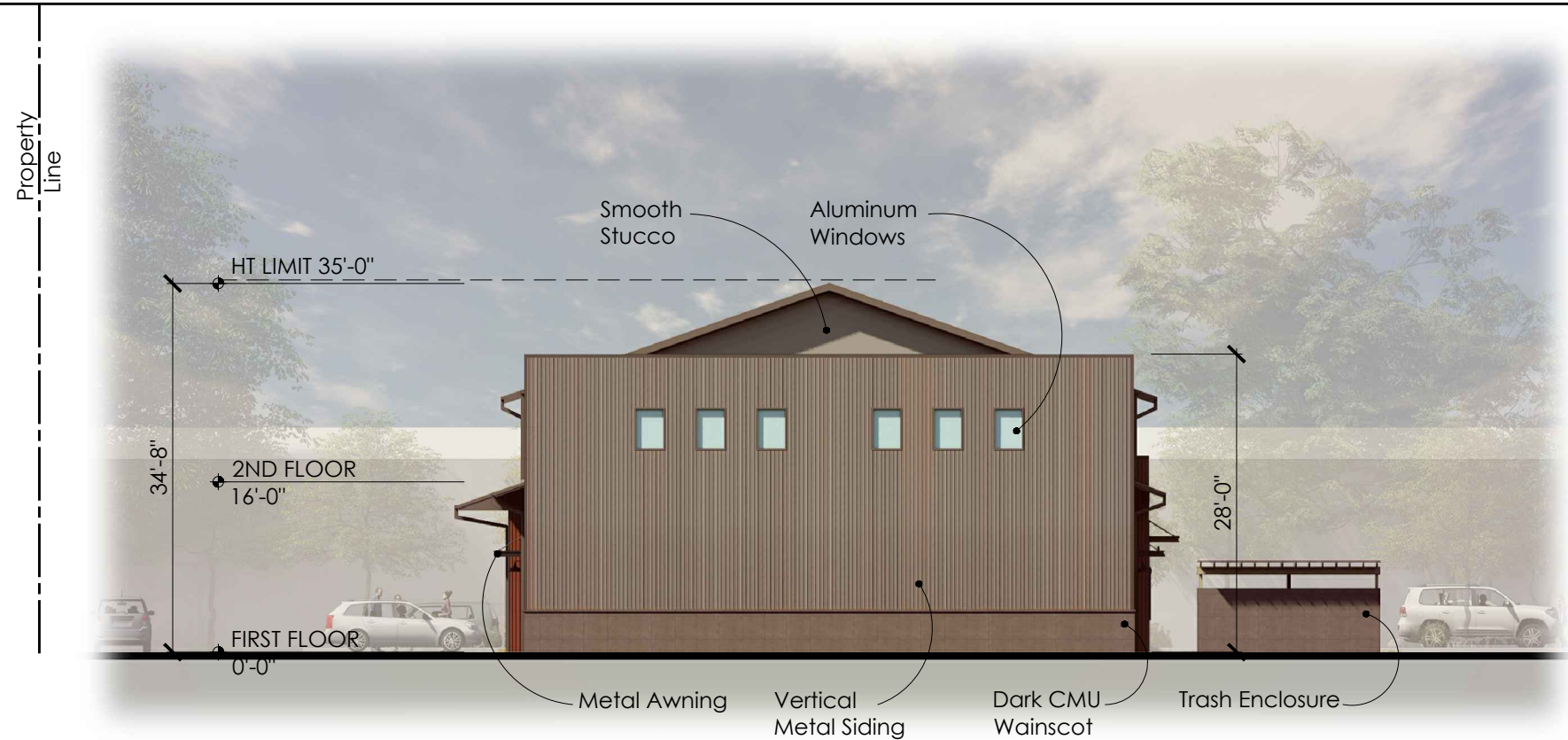
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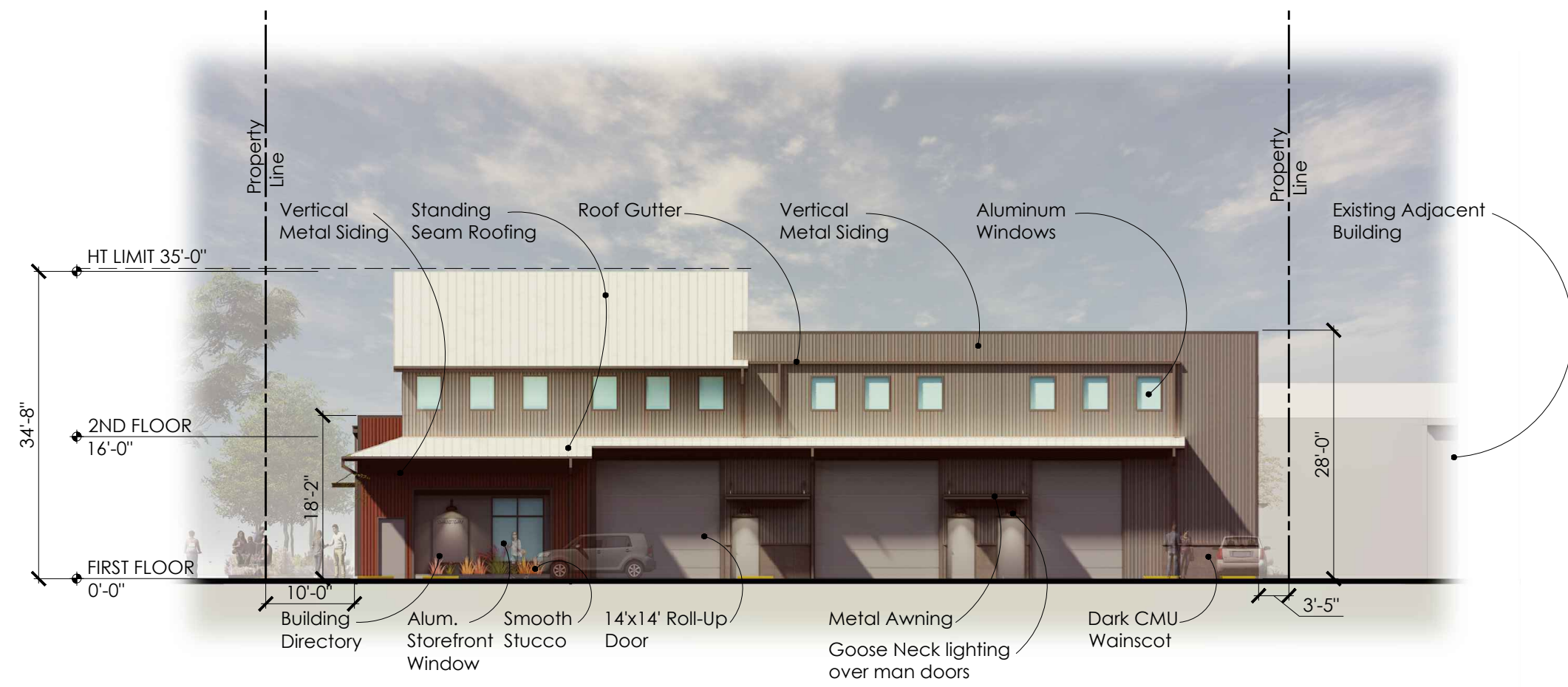
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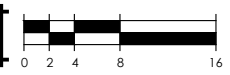




**WEST ELEVATION**



**NORTH ELEVATION**



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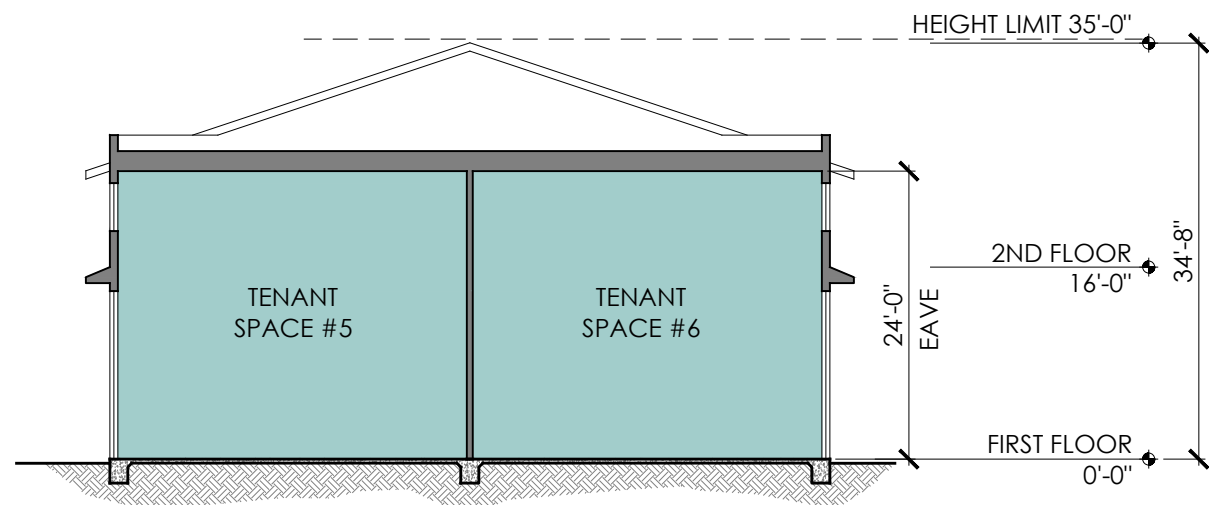
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**ELEVATIONS**

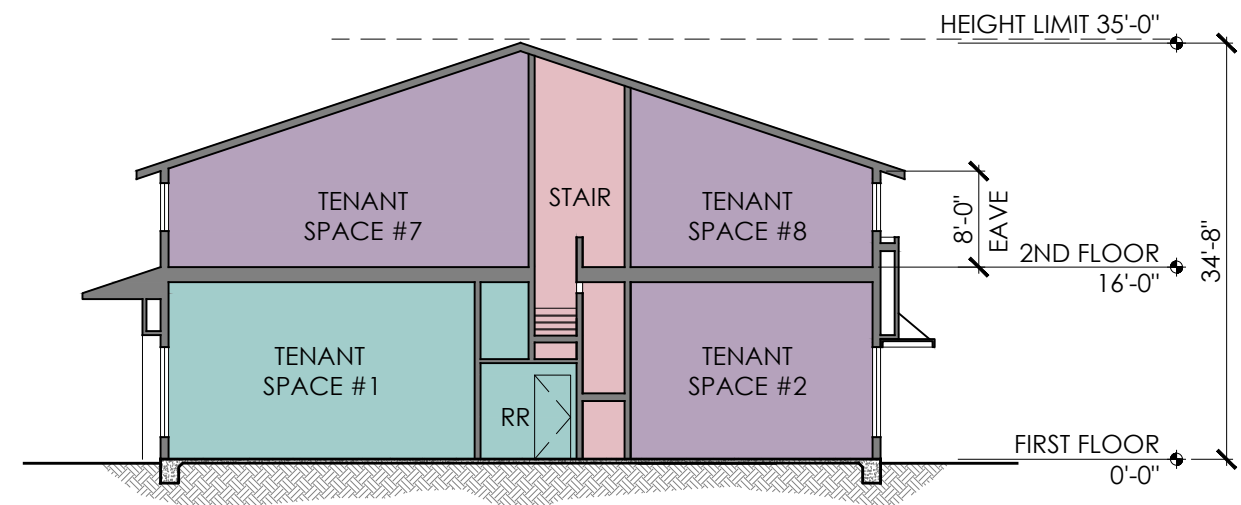
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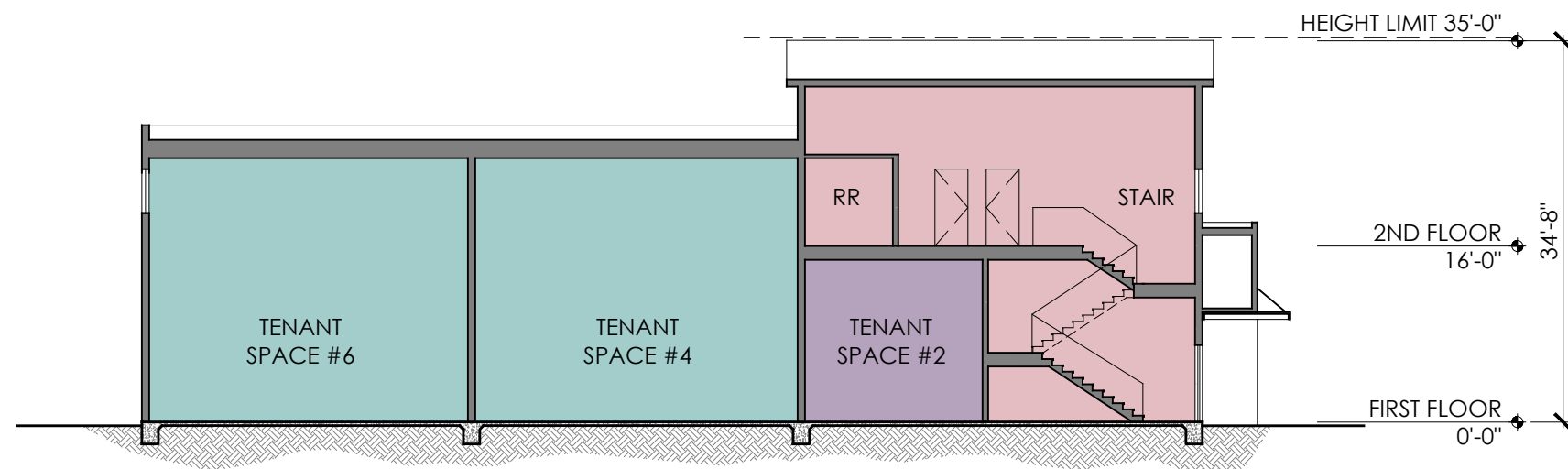
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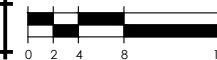
**BUILDING SECTION B**



**BUILDING SECTION C**



**BUILDING SECTION A**



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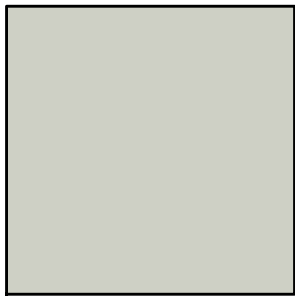
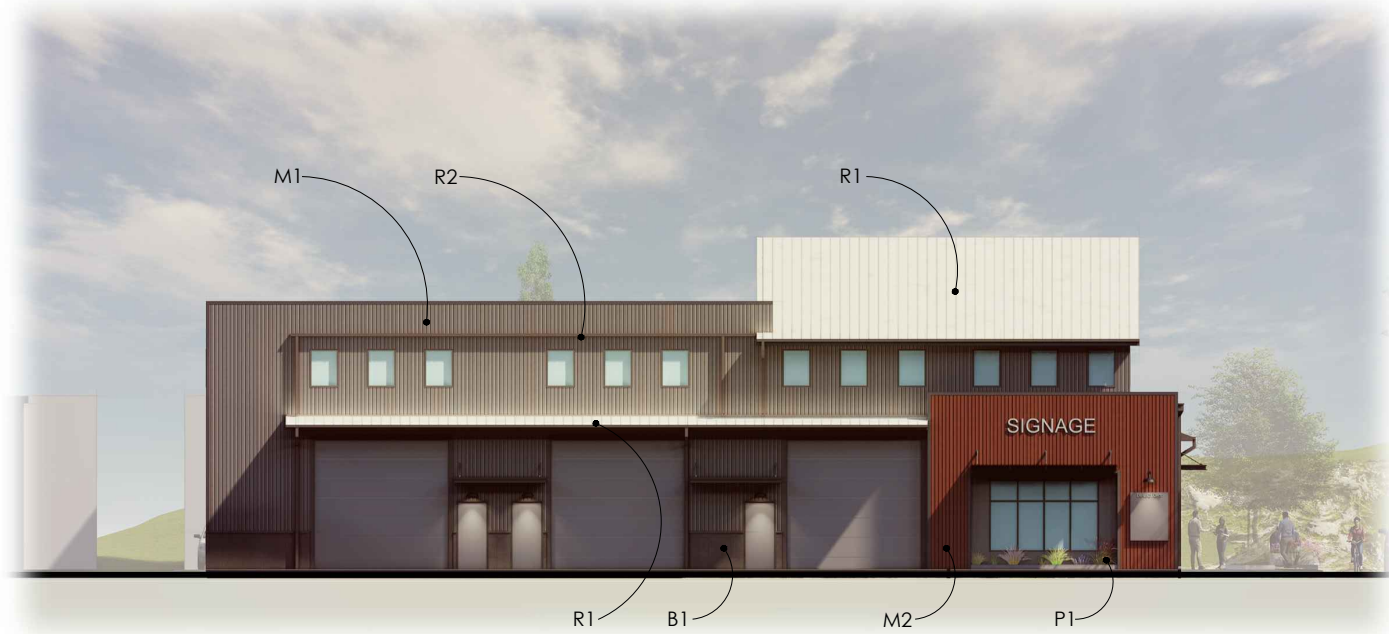
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**BUILDING SECTIONS**

Date: 01/26/2022

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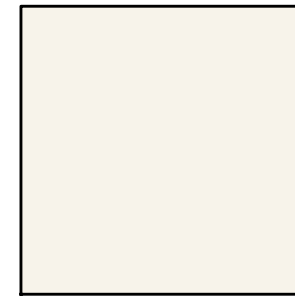
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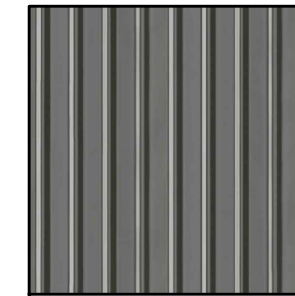
**R1: METAL ROOFING**  
AEP SPAN "SURF WHITE"



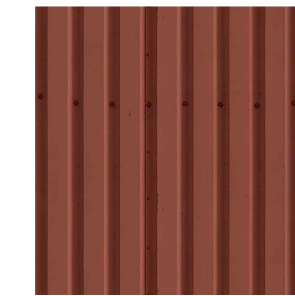
**R2: GUTTERS & DOWNSPOUTS**  
ALUMINUM, PAINTED  
SHERWIN-WILLIAMS SW6236 "GRAYS HARBOR"



**P1: PAINT**  
SHERWIN-WILLIAMS SW7100 "ARCADE WHITE"



**M1: METAL SIDING**  
ALUMINUM, PAINTED  
AEP SPAN "OLD TOWN GRAY"



**M2: METAL SIDING 2**  
ALUMINUM, PAINTED  
AEP SPAN "TERRA-COTTA"



**B1: DARK BLOCK**

**COLORS & MATERIALS**

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**COLORS & MATERIALS**

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Scale NOT TO SCALE  
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CONCRETE BENCH W/ PLANTER



CONCRETE BENCH W/ PLANTER



GOOSE NECK BARN LIGHT WITH FULL SHIELD



FULLY ENCLOSED BIKE LOCKER FOR LONG TERM STORAGE



U-SHAPED BIKE RACK

**SITE AMENITIES**

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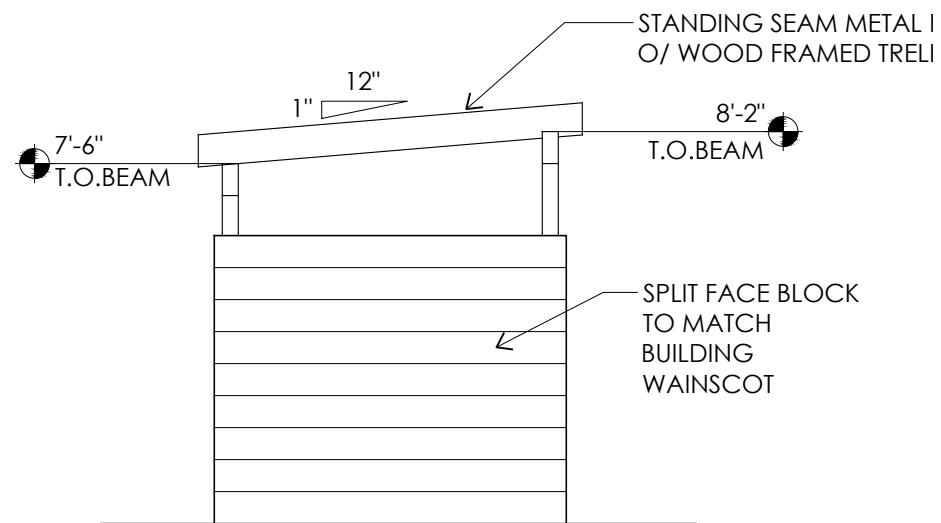
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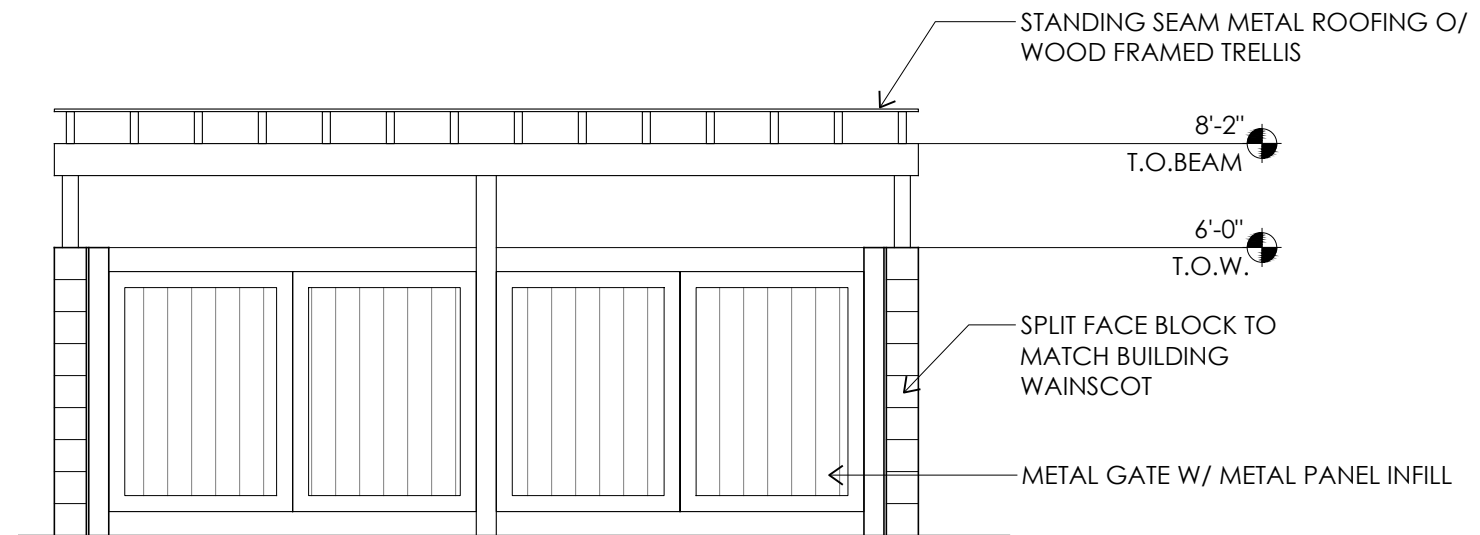
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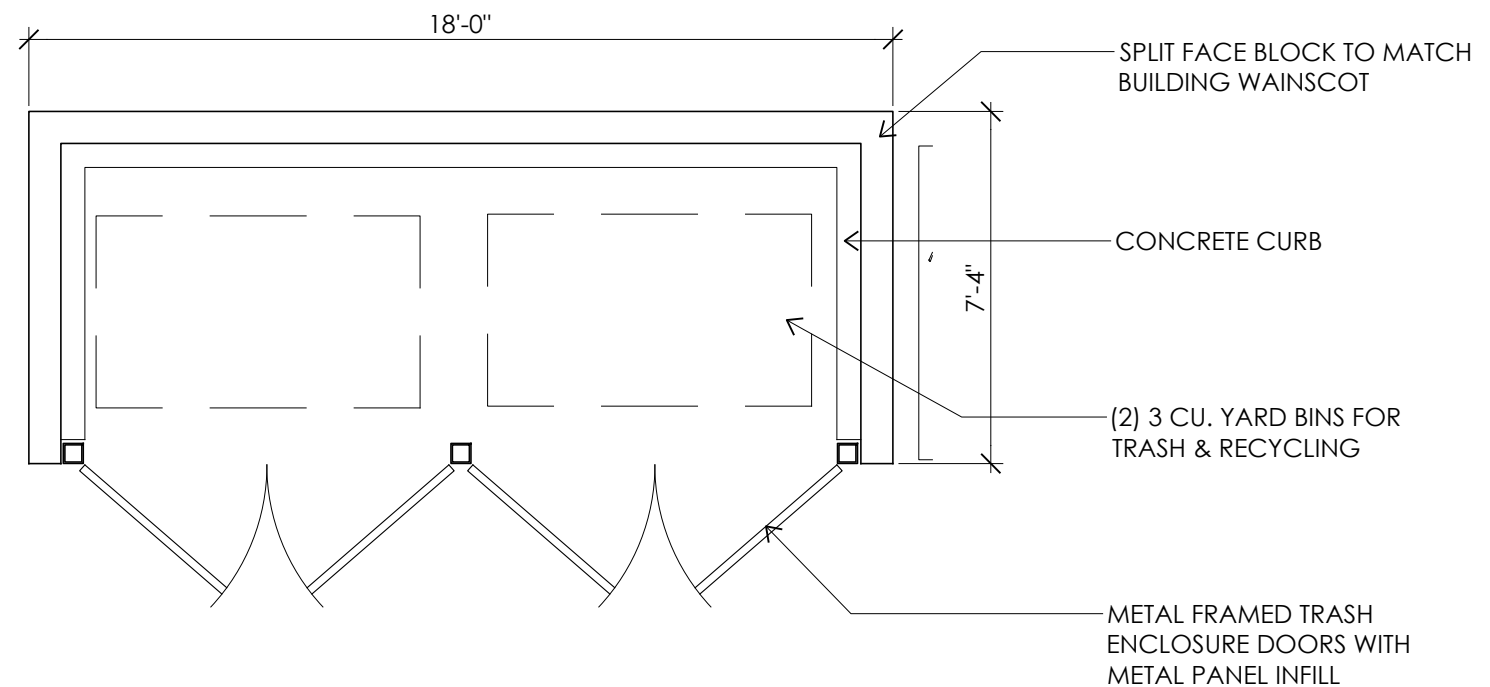
Date 01/26/2022  
Scale NOT TO SCALE  
Sheet **A4.1**



TRASH ENCLOSURE - SIDE ELEVATION



TRASH ENCLOSURE - FRONT ELEVATION



TRASH ENCLOSURE - PLAN

TRASH ENCLOSURE

**Arris**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
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CONTACT  
805.547.2240  
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THOMAS E. JESS  
ARCHITECT (CA) #C27068

STEPHEN A. BIGOR  
ARCHITECT (CA) #C33672

**2855 McMillan Ave.**  
San Luis Obispo, Ca

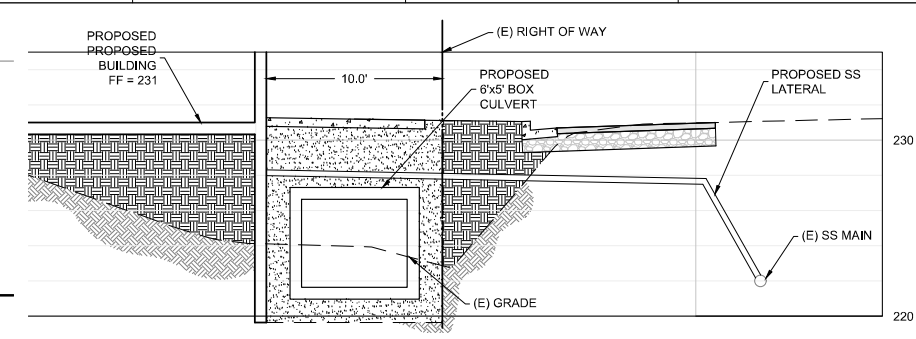
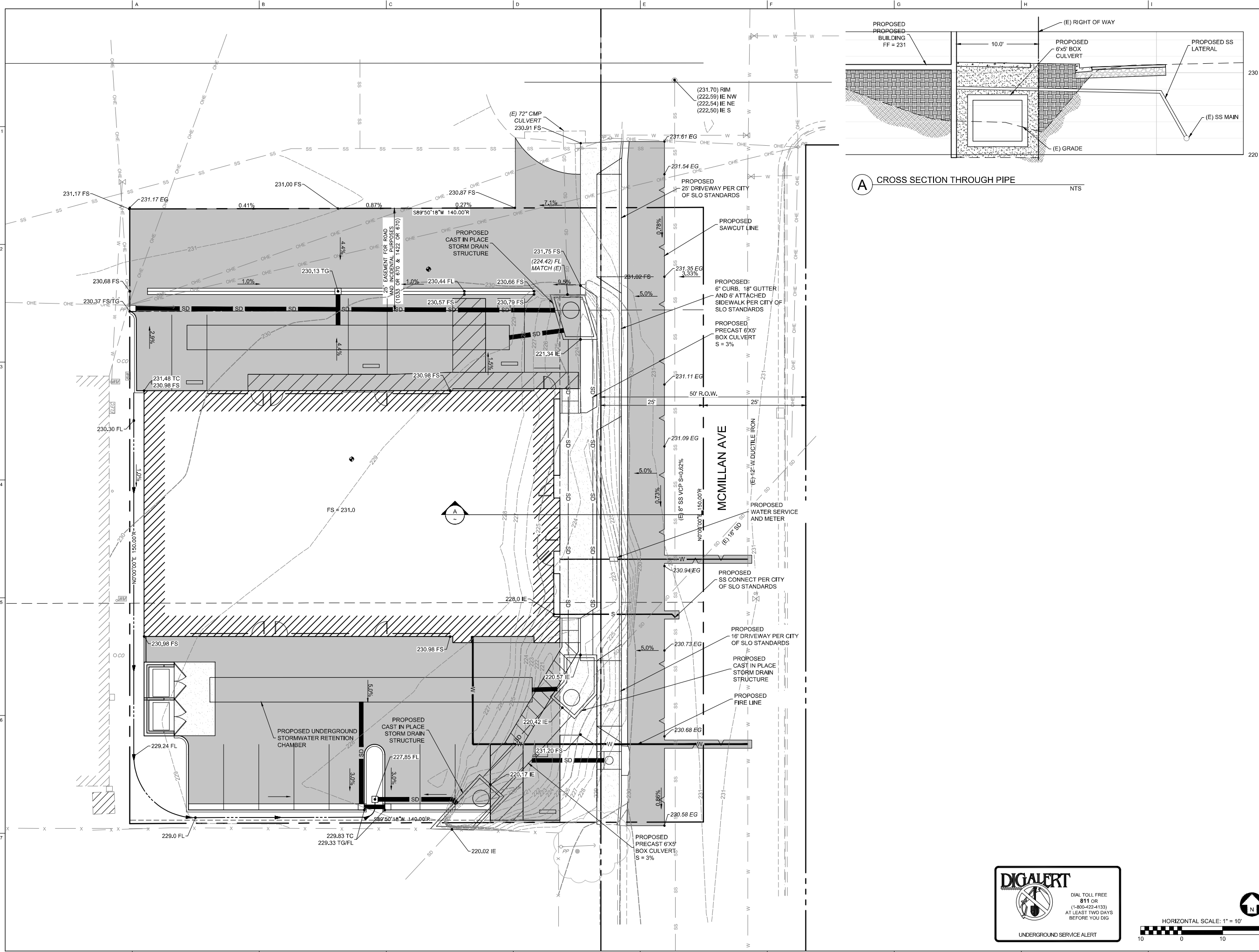
**TRASH ENCLOSURE**

Date: 01/26/2022

Scale:  
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1/2" = 1'-0" @ 24x36


Sheet  
**A4.2**

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A CROSS SECTION THROUGH PIPE NTS

Plan Prepared By:



**Ashley & Vance**  
ENGINEERING, INC.

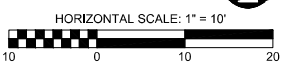
1413 Monterey Street  
San Luis Obispo, CA 93401  
(805) 545-0110  
www.ashleyvance.com

CIVIL • STRUCTURAL

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McMILLAN  
2855 McMILLAN  
SAN LUIS OBISPO CA 93401

Revisions:	Project Engineer: KEA	Ext: 165
	Project Manager: S_J	
	Date: 1/18/2022	Scale: PER PLAN
	AV Job No: 201490	Sheet Size: 24" x 36"



GRADING AND DRAINAGE PLAN

# C-2.1

## GENERAL NOTES

1. MINIMUM PLANT SIZES:  
STREET TREES (24" BOX), SITE TREES (15 GAL./24" BOX), SHRUBS (5 GAL.), GROUND COVER (FLATS)
2. POINT OF CONNECTION FOR WATER SUPPLY SHALL BE BY A NEW LANDSCAPE METER.
3. ALL PLANT MATERIAL SHALL CONFORM TO THE CITY OF SAN LUIS OBISPO MODEL WATER CONSERVATION ORDINANCE.
4. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF SAN LUIS OBISPO STANDARDS AND CODES.
5. ALL AREAS BEYOND THE AREA OF WORK THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITION.
6. TREES PLANTED IN AN AREA LESS THAN 8' WIDE SHALL BE INSTALLED WITH A ROOT BARRIER TO PROTECT AGAINST HARDSCAPE DAMAGE.
7. STREET TREES ARE TO BE SELECTED FROM THE CITY OF SAN LUIS OBISPO APPROVED TREE LIST.
8. ALL PLANT MATERIAL PLANTED ABOVE THE STORM DRAIN CULVERT SHALL HAVE SHALLOW ROOTS TO AVOID CONFLICT WITH CULVERT PIPE.

## PLANT LEGEND

### CANOPY TREES

ACER RUBRUM 'OCTOBER GLORY' MAPLE (M)  
LAURUS NOBILIS 'SARATOGA' / SWEET BAY (L)

### ACCENT TREES

CERCIS OCCIDENTALIS / WESTERN REDBUD (VL)  
LAGERSTROEMIA 'NATCHEZ' / CRAPE MYRTLE (M)

### MEDIUM HEIGHT SHRUBS

CEANOTHUS 'JOYCE COULTER' / CALIFORNIA LILAC (L)  
BUXUS SEMPERVIRENS / COMMON BOXWOOD (M)  
HEUCHERA MAXIMA / ISLAND ALUMROOT (M)  
NANDINA DOMESTICA / HEAVENLY BAMBOO (M)

### LOW SHRUBS & GRASSES

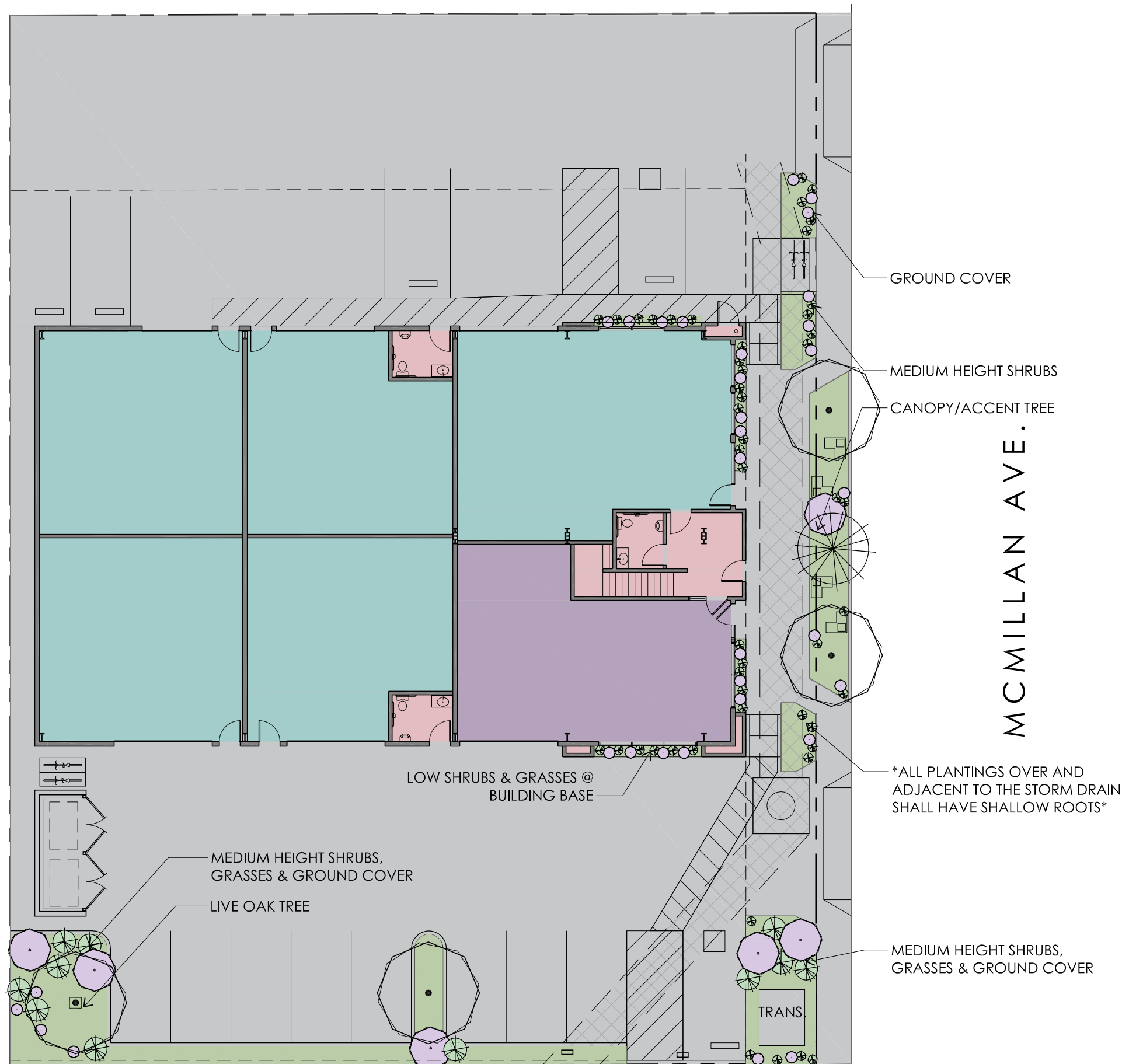
ACMISPON GLABER / DEER WEED (VL)  
CAREX TUMULICOLA / BERKELEY SEDGE (L)  
PHORMIUM TENAX 'DUSKY CHIEF' / NEW ZEALAND FLAX (L)  
TRICHOSTEMA LANATUM / WOOLLY BLUE CURLS (VL)

### GROUD COVERS

COTONEASTER DAMMERI / BEARBERRY COTONEASTER (L)  
CUPRESSANCEAE 'WILTONII' / CREEPING JUNIPER (L)  
ROSEMARINUS OFFICINALIS PROSTRATUS / CREEPING ROSEMARY (L)

### WUCOLS RATING

H - HIGH  
M - MODERATE  
L - LOW  
VL - VERY LOW



# WATER CONSERVATION

## WATER CONSERVATION NOTES

THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT:

- WATER CONSERVING PLANTS, DEFINED AS "LOW" OR "VERY LOW" IN THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WULCOS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION), SHALL BE UTILIZED IN 75% OF THE TOTAL PLANT AREA.
- IRRIGATION SYSTEM SHALL BE SEPARATED INTO DISTINCT HYDROZONES BASED ON PLANT MATERIAL TYPES, EXPOSURE, AND ORIENTATION.
- SOIL AMENDMENTS AND A 3" LAYER OF MEDIUM BARK MULCH SHALL BE UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL AND INHIBIT EVAPORATION.
- LAWN IS NOT USED.

## STATEMENT OF WATER CONSERVING IRRIGATION DESIGN

THE FOLLOWING PRINCIPLES OF IRRIGATION DESIGN UTILIZED ON THIS PROJECT ARE DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM.

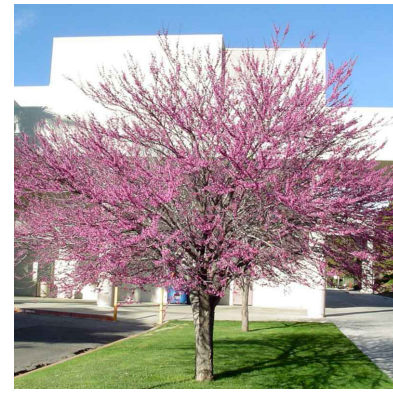
- ALL IRRIGATION SHALL BE DRIP OR DRIP-TYPE AND/OR MICROSPRAY SYSTEMS ONLY. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
- IRRIGATION HYDROZONES SHALL ADJUST ACCORDING TO WATER NEEDS AND WEATHER.
- UTILIZATION OF IRRIGATION SYSTEM MASTER VALVE.
- UTILIZATION OF IRRIGATION SYSTEM "SMART CONTROLLER" WITH WATER BUDGETING FEATURE.
- UTILIZATION OF IRRIGATION SYSTEM FLOW SENSOR.
- UTILIZATION OF RAIN SHUT-OFF DEVICE CONNECTED TO IRRIGATION CONTROLLER.



OCTOBER GLORY MAPLE



SWEET BAY



WESTERN REDBUD



CRAPE MYRTLE



CALIFORNIA LILAC



COMMON BOXWOOD



ISLAND ALUMROOT



HEAVENLY BAMBOO



DEER WEED



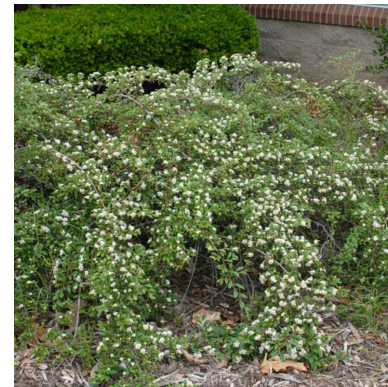
BERKELEY SEDGE



NEW ZEALAND FLAX



WOOLLY BLUE CURLS



BEARBERRY COTONEASTER

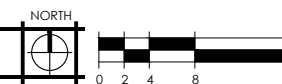


CREeping JUNIPER



CREeping ROSEMARY

**NOTE:**  
PLANT IMAGERY SHOWN IS REPRESENTATIVE ONLY. FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL PLANTING LEGEND FOR MORE INFORMATION.



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**2855 McMillan Ave.**  
San Luis Obispo, Ca

**WATER CONSERVATION**

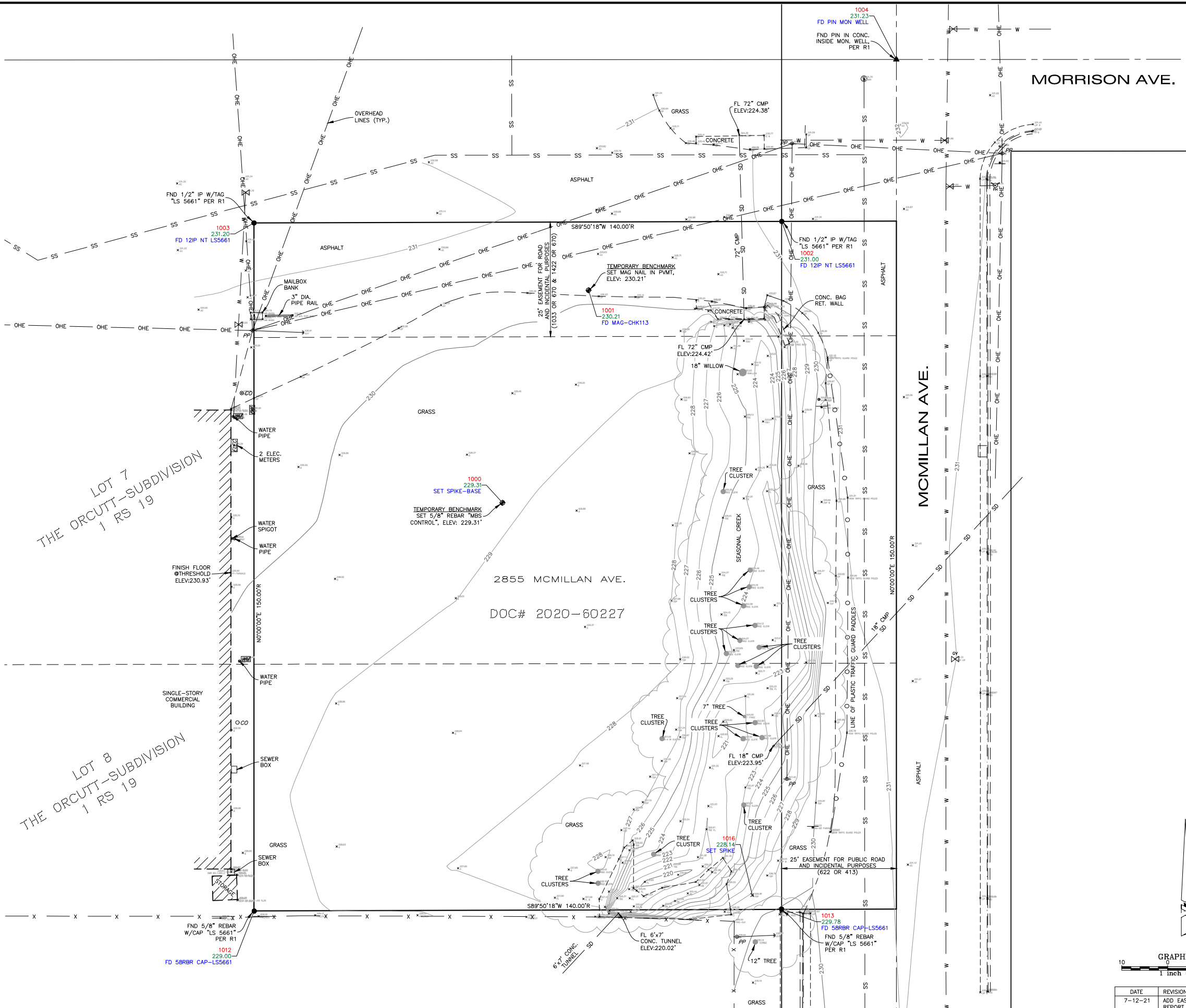
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1/8" = 1'-0" @ 24x36

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**SYMBOL LEGEND:**

x	FENCE LINE	RETAINING WALL
SS	SEWER MAIN	PG&E BOX
W	WATER MAIN	GM
G	GAS MAIN	GM
ETC	ELEC/TELEPHONE/CABLE	TEL
OHE	OVERHEAD ELECTRIC	SW
DI	DROP INLET AT CURB	CATV
DI	DROP INLET	EL
SD	STORM DRAIN MANHOLE	EL
FD	FIRE HYDRANT	TEL
W	WATER WELL	ST
WV	WATER VALVE	JP
WM	WATER METER	PP
SM	SEWER MANHOLE	GW
SC	SEWER CLEANOUT	MW

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	CANOPY RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STEP
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE

**SURVEYOR'S STATEMENT:**  
THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON NOVEMBER 13, 2020.

MICHAEL B. STANTON, PLS 5702 DATE

- SURVEYOR'S NOTES:**
1. A PRELIMINARY TITLE REPORT WAS PROVIDED TO THE SURVEYOR, PREPARED BY FIRST AMERICAN TITLE COMPANY, AND DATED AUGUST 13, 2020. ANY INCLUDED EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE BEEN PLOTTED, WHERE POSSIBLE.
  2. ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
  3. IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
  4. THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
  5. THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON A BOUNDARY SURVEY WHICH IS CURRENTLY IN PROGRESS. PERMANENT MONUMENTS WILL BE SET AT ALL PROPERTY CORNERS AND A CORNER RECORD MAP OR RECORD OF SURVEY MAP WILL BE SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO AS REQUIRED BY STATE LAW.

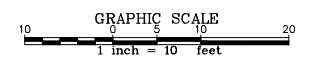
**BENCH MARK:**  
THE BENCH MARK FOR THIS PROJECT IS USC&GS BRASS CAP V-530 ON NORTHEASTERLY CURB OF BRIDGE ON ORCUTT ROAD BETWEEN MCMILLAN & BROAD, S.L.O. DATUM BENCHMARK #74.  
ELEV.= 216.75' (NAVD88)

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE CENTERLINE OF MCMILLAN, BETWEEN THE INTERSECTIONS OF MORRISON AND ORCUTT.  
BEARING N 00°00'00" E, PER R.

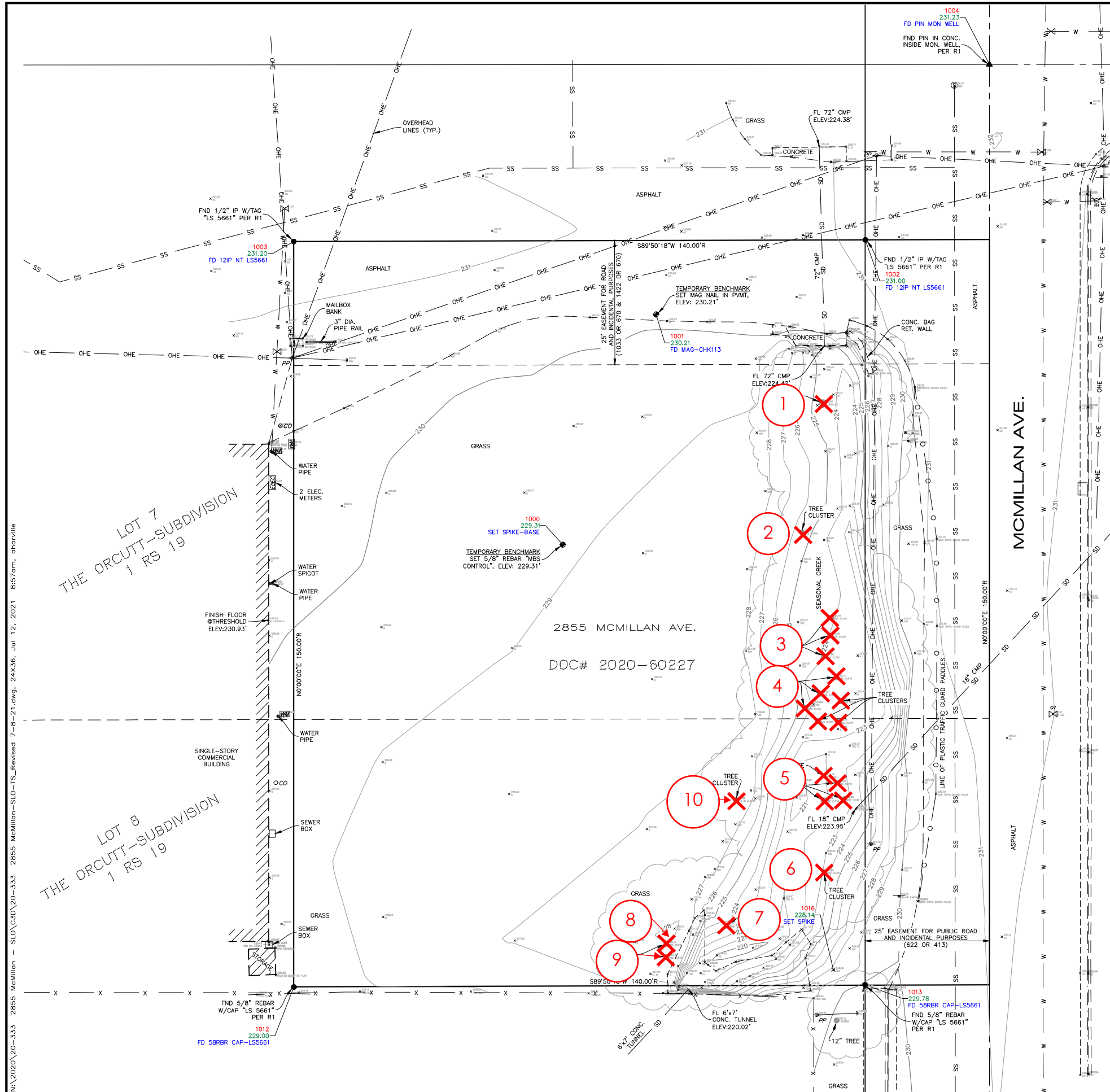
**SITE DATA:**  
ADDRESS: 2855 MCMILLAN AVE.  
ASSESSOR'S PARCEL NO. APN 053-212-005

**TOPOGRAPHIC MAP**  
A PORTION OF LOTS 7 & 8 OF THE ORCUTT-SUBDIVISION AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 1 AT PAGE 19, IN THE CITY OF SAN LUIS OBISPO, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

AT THE REQUEST OF WADE CROSONO  
**MBS LAND SURVEYS** MICHAEL B. STANTON, PLS 5702  
3559 SOUTH HIGUERA ST.  
SAN LUIS OBISPO, CA 93401  
805-594-1960  
July 12, 2021 JOB #20-333



DATE	REVISION
7-12-21	ADD EASEMENTS LISTED IN TITLE REPORT, AS PROVIDED BY CLIENT



**SYMBOL LEGEND:**

x	FENCE LINE	RETAINING WALL	
SS	SEWER MAIN	PG&E BOX	
W	WATER MAIN	GM	GAS METER
G	GAS MAIN	TEL	TELEPHONE BOX
ETC	ELEC/TELEPHONE/CABLE	SIG	SIGNAL BOX
OHE	OVERHEAD ELECTRIC	DI	DROP INLET AT CURB
		DI	DROP INLET
		SD	STORM DRAIN MANHOLE
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		HP	HIGH POINT
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		PP	POWER POLE
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		RB	REBAR
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FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE

**LEGEND**

X EXISTING TREE TO BE REMOVED

**TREES TO BE REMOVED**

- 1 18" WILLOW
- 2 6" LIVE OAK
- 3 CLUSTER OF WILLOWS
- 4 CLUSTER OF WILLOWS
- 5 CLUSTER OF WILLOWS
- 6 CLUSTER OF WILLOWS
- 7 CLUSTER OF WILLOWS
- 8 CLUSTER OF WILLOWS
- 9 5" LIVE OAK
- 10 11" LIVE OAK

**GENERAL NOTES**

- A) (5) TREES ARE PROPOSED ONSITE AS COMPENSATORY TREE PLANTING (1:1) RATIO.
- B) (30) TREES ARE PROPOSED ON AN OFF-SITE MITIGATION AREA AS COMPENSATORY TREE PLANTING (2:1) RATIO

**SURVEYOR'S STATEMENT:**  
THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON NOVEMBER 13, 2020.

MICHAEL B. STANTON, PLS 5702 DATE

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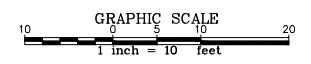
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BEARING N 00°00'00" E, PER R.

**SITE DATA:**  
ADDRESS: 2855 MCMILLAN AVE.  
ASSESSOR'S PARCEL NO. APN 053-212-005

**TR-01**  
**PROPOSED TREE REMOVAL PLAN**  
**TOPOGRAPHIC MAP**

A PORTION OF LOTS 7 & 8 OF THE ORCUTT-SUBDIVISION AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 1 AT PAGE 19, IN THE CITY OF SAN LUIS OBISPO, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

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MICHAEL B. STANTON, PLS 5702  
3559 SOUTH HIGUERA ST.  
SAN LUIS OBISPO, CA 93401  
805-594-1960  
July 12, 2021 JOB #20-333



DATE	REVISION
7-12-21	ADD EASEMENTS LISTED IN TITLE REPORT, AS PROVIDED BY CLIENT

N:\2020\20-333\_2855 McMillan-SLO-TS- Revised 7-8-21.dwg, 24x36, Jul 12, 2021 8:57am, charville